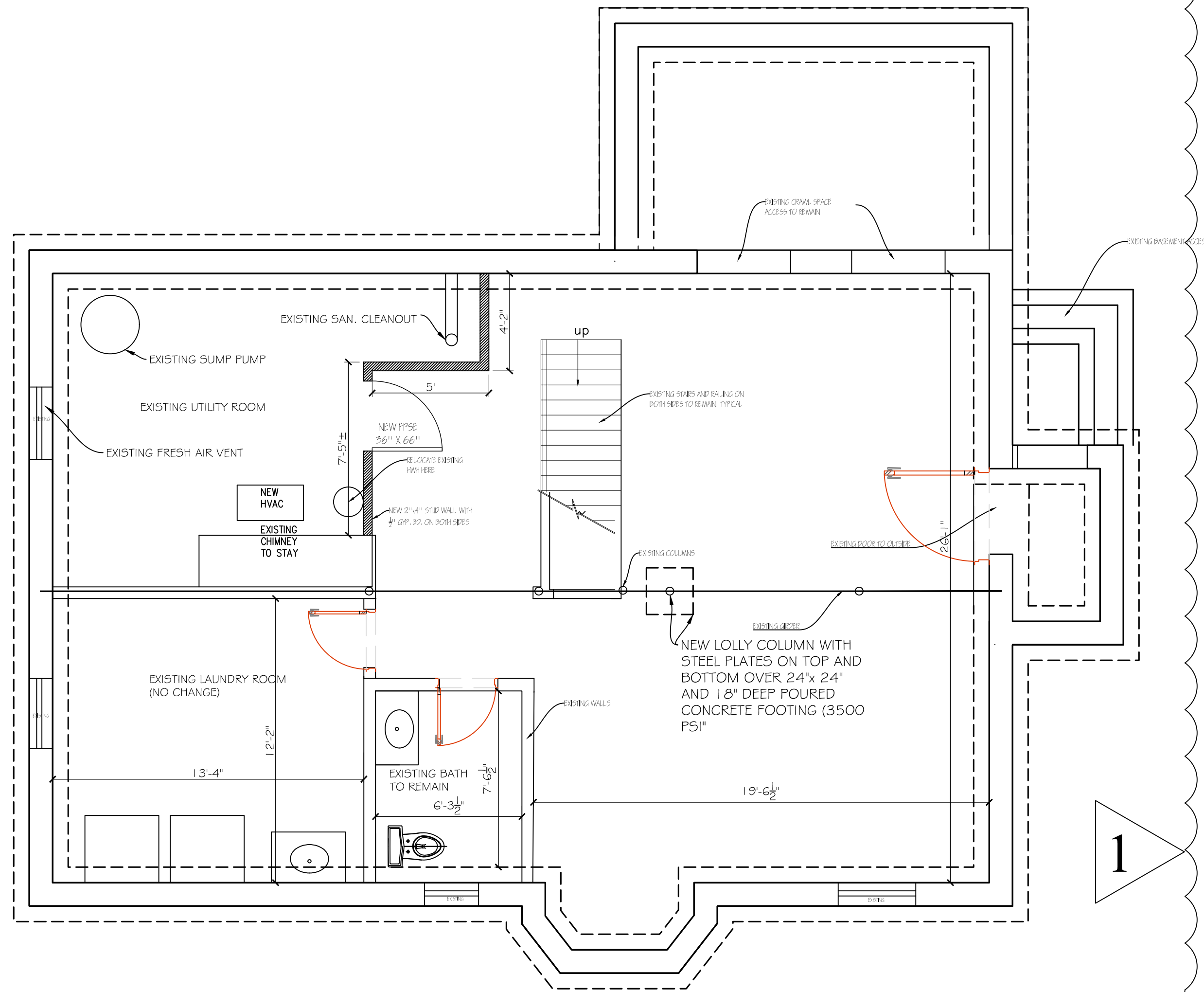
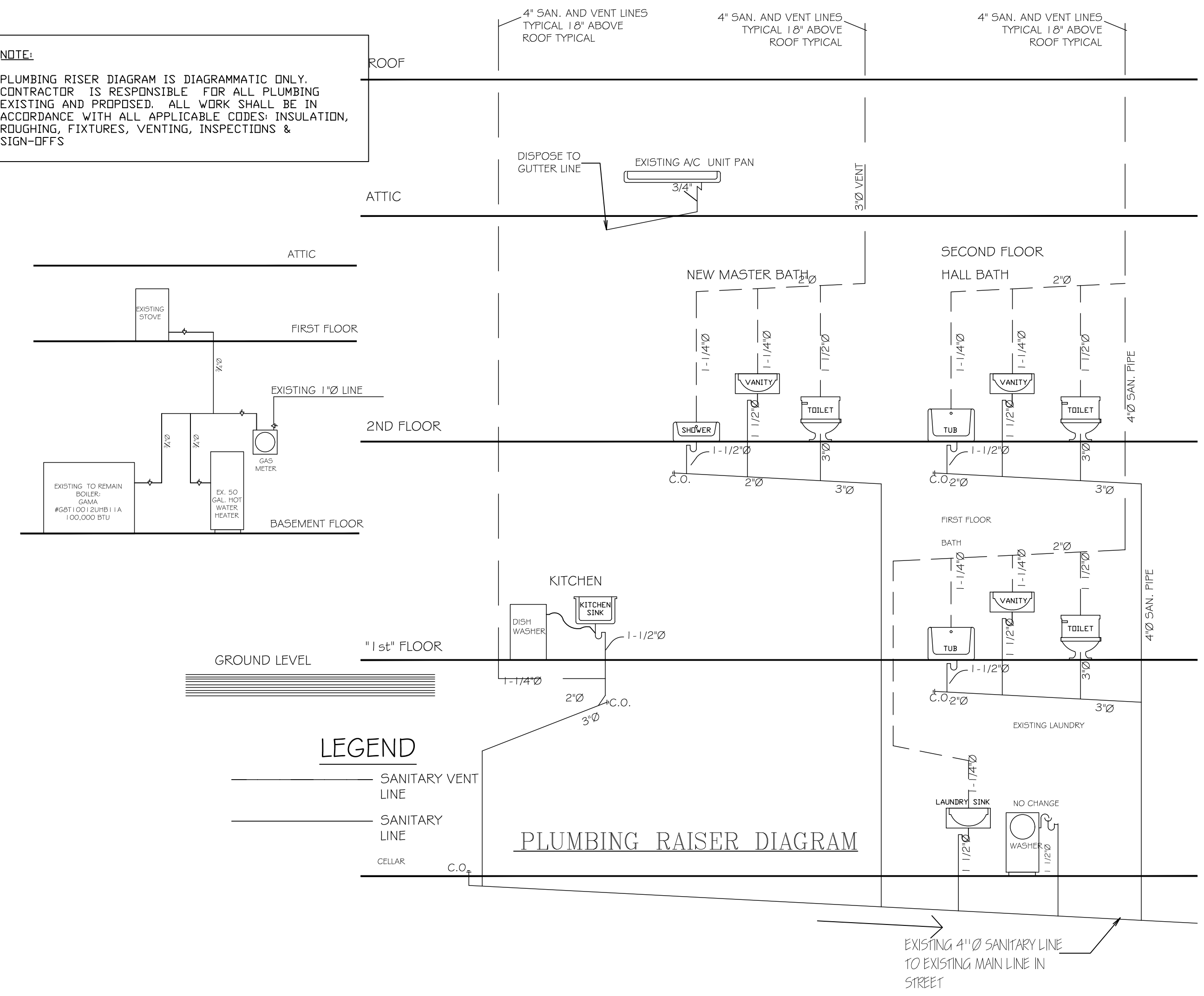


is a violation of law for any person, unless he or she is acting under the direction of a licensed professional architect, to offer or attempt to offer, or to attempt to offer, any services for which he or she is not licensed, or to attempt to offer, or to attempt to offer, any services for which he or she is not licensed, or to attempt to offer, or to attempt to offer, any services for which he or she is not licensed.



NOTE:
 PLUMBING RISER DIAGRAM IS DIAGRAMMATIC ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL PLUMBING EXISTING AND PROPOSED. ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES: INSULATION, ROUGHING, FIXTURES, VENTING, INSPECTIONS & SIGN-OFFS.



LEGEND
 — SANITARY VENT LINE
 — SANITARY LINE
 — CELLAR

PLUMBING RAISER DIAGRAM

PLUMBING NOTES:

- ALL TRENCHING, EXCAVATION AND BACKFILLING TO BE DONE IN ACCORDANCE WITH SECTION 2.6, CHAPTER 2 OF THE NATIONAL STANDARD PLUMBING CODE, 2015. THIS SHALL APPLY TO THE REQUIRED TRENCHING FOR ALL SERVICE PROVIDED FROM THE BASEMENT.
- ALL PLUMBING MATERIALS AND SUPPLIES ARE TO COMPLY WITH THE STANDARDS SET FORTH IN CHAPTER 3 OF THE NATIONAL STANDARDS PLUMBING CODE, 2015.
- ALL PLUMBING FIXTURES TO BE SUPPLIED AND INSTALLED BY PLUMBING SUBCONTRACTOR. ALL PIPING TO BE A MINIMUM SIZE OF 3/4" DIAMETER WATER METER & STREET SERVICE AND 1" DIAMETER WATER SERVICE & DISTRIBUTION TO ALLOW FOR THE TOTAL NUMBER OF BATHROOMS PLUMBING IN THE RESIDENCE.
- ALL JOINTS AND CONNECTIONS ARE TO CONFORM TO THE STANDARDS AS SET FORTH IN CHAPTER 4 OF NSPC, 2015.
- HOT AND COLD WATER PIPES ARE TO BE COPPER TYPE 'L' AS PER SECTION 3.4.3, TABLE 3.4.3, CHAPTER 3 OF THE NSPC, 2015.
- ALL WATER SUPPLY VALVES (BALL COCK) ARE TO BE PROVIDED AS PER NSPC, 2015, SECTION 10.12.6, CHAPTER 10.
- ALL VENTS THAT PENETRATE THROUGH THE ROOF ARE TO BE 4" DIAMETER, TERMINATING A MINIMUM OF 6" ABOVE THE FINISHED ROOF LINE.
- ALL PLUMBING SHALL BE IN ACCORDANCE WITH STATE AND LOCAL CODES AND BE INSTALLED BY A LICENSED PLUMBER.
- CONNECT ALL FIXTURES TO A VENT STACK THROUGH THE ROOF, TO BE A MINIMUM OF 18" ABOVE FINISHED ROOF.
- PROVIDE CLEAN-OUTS AT ALL CHANGES OF DIRECTION FOR WASTE LINES.
- ALL WATER SUPPLY PIPE AND FIXTURE RISERS TO BE COPPER TYPE 'L'. ALL HORIZONTAL RUNS SHALL BE SUPPORTED AT 48" O.C. MAXIMUM AND MAINTAIN A UNIFORM SLOPE. SUPPLY PIPING SHALL BE SUPPORTED SHALL BE SUPPORTED AT A MAXIMUM OF 48" O.C.
- SYSTEM IS DESIGNED FOR A MAXIMUM VELOCITY OF 8 FEET PER SECOND.
- ALL PIPING TO BE SUPPORTED, ANCHORED & INSULATED AS PER NSPC, 2006, CHAPTER 4.
- PROVIDE AT ALL CELLAR (BASEMENT) BRANCHES BOTH A VALVE AND DRAIN COCK.
- PROVIDE SHUT OFF VALVES DIRECTLY OFF NEW SUPPLY BRANCHES IN CELLAR (BASEMENT).
- NEW EJECTOR PUMP AND SUMP PUMP INSTALLATION TO COMPLY WITH NSPC, 2006, SECTION 11.7.8, CHAPTER 11.
- ALL AREAS, INCLUDING WALLS, FLOORS AND CEILINGS, DAMAGED DURING WORK MUST BE PATCHED, REPAIRED, RESTORED TO MATCH ADJACENT EXISTING SURFACES.

GENERAL NOTES:

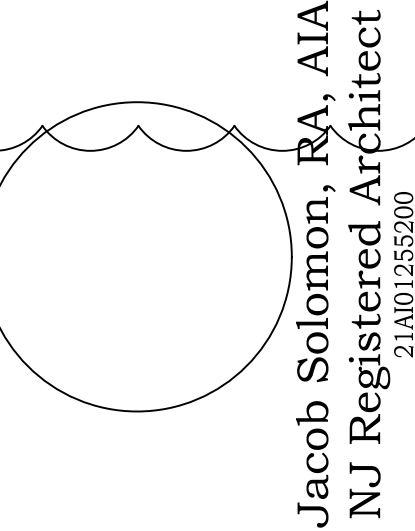
- THESE PLANS ARE TO BE USED IN CONJUNCTION WITH THE OUTLINE SPECIFICATIONS, WHEN PROVIDED.
- THE FLOOR PLANS SHOWN SHALL BE FOR THE CONSTRUCTION OF BOOMER ON THE ATTIC LEVEL AND THE INTERIOR RENOVATION / ADDITION OF EXISTING 1ST FLOOR OF EXISTING ONE FAMILY RESIDENCE, WHICH IS CLASSIFIED BY THE NEW JERSEY BUILDING CODE/ICC 2015 AS USE GROUP R-5. THE TOWNSHIP OF MONTCLAIR CLASSIFIES THIS USE AS AN "R-15" RESIDENTIAL ZONE (FOR ONE FAMILY RESIDENCES), BASED UPON ITS ZONING REGULATIONS.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL STATE AND LOCAL BUILDING CODES AND REGULATIONS.
- THE GENERAL CONTRACTOR AND ALL HIS SUBCONTRACTORS MUST COMPLY WITH ALL BUILDING RULES AND REGULATIONS AT ALL TIMES.
- ALL PARTITIONS AND FURRING SHALL BE WOOD STUD CONSTRUCTION FOR EXTERIOR & INTERIOR WORK AND SHALL CONFORM TO THE NEW JERSEY BUILDING CODE/ICC 2015, THE NEW JERSEY RESIDENTIAL CODE/ICC 2015 AND THE UNIFORM CONSTRUCTION CODE OF THE STATE OF NEW JERSEY.
- ELECTRIC WORK TO CONFORM TO THE NATIONAL ELECTRIC CODE/2015 AND THE NEW JERSEY ELECTRIC CODE. PROVIDE A MINIMUM OF ONE SMOKE DETECTOR PER BEDROOM AND ON EACH FLOOR. PROVIDE A MINIMUM OF ONE CARBON MONOXIDE DETECTOR ON EACH FLOOR. ALL SMOKE AND CARBON MONOXIDE DETECTORS TO BE HARDWIRED.
- INDOOR DESIGN TEMPERATURE SHALL BE MAX. 72° FOR HEATING AND MIN. 78° FOR COOLING BASED ON 10° WINTER AND 83° SUMMER TEMPERATURE LISTED AS PER THE NEW JERSEY BUILDING CODE/ICC 2015 ENERGY CONSERVATION SECTION.
- ALL EXPOSED HOT WATER PIPING AND/OR HEATING DUCTS TO BE INSULATED AS PER ENERGY CONSERVATION SECTION OF THE NBC/ICC 2015.
- THESE PLANS ARE DESIGNED TO MEET OR EXCEED THE REQUIREMENTS OF THE NEW JERSEY BUILDING CODE/ICC 2015. VERIFY ANY CHANGES IN CODE THAT MIGHT EFFECT CONSTRUCTION WITH THE TOWNSHIP OF MONTCLAIR BUILDING DEPT.
- THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR SAFETY PRECAUTIONS & PROGRAMS IN CONNECTION WITH THE WORK. THERE ARE NO WARRANTIES, NOR ANY MERCHANTABILITY OF FITNESS FOR A SPECIFIED USE EXPRESSED OR IMPLIED IN THE USE OF THESE PLANS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE STARTING CONSTRUCTION. DO NOT SCALE DRAWINGS. FOLLOW DIMENSIONS ONLY!
- ALL ELECTRIC HEAT, ETC. SHALL CONFORM TO PSE&G, N.J.S.C., NEC, & NBFU REQUIREMENTS.
- THE ARCHITECT'S CERTIFICATION APPLIES ONLY TO THESE PLANS CONFORMANCE TO THE NEW JERSEY BUILDING CODE/ICC 2015, THE NEW JERSEY RESIDENTIAL CODE/ICC 2015 AND THE UNIFORM CONSTRUCTION CODE OF THE STATE OF NEW JERSEY.
- GC TO INFORM THE ARCHITECT IF THERE ARE ANY DISCREPANCIES BETWEEN THE PLANS & EXISTING SITE CONDITIONS. NO WORK IS TO PROCEED UNTIL DISCREPANCIES ARE CLARIFIED & CORRECTED.
- ALL PLUMBING FIXTURES TO BE SUPPLIED AND INSTALLED BY PLUMBING SUBCONTRACTOR. ALL PIPING TO BE A MINIMUM SIZE OF 3/4" DIAMETER WATER METER & STREET SERVICE AND 1" DIAMETER WATER SERVICE & DISTRIBUTION TO ALLOW FOR THE TOTAL NUMBER OF BATHROOMS PLUMBING IN THE RESIDENCE. SUBCONTRACTOR TO SUPPLY ALL NECESSARY INFORMATION FOR CUT-OUTS TO BE PERFORMED BY MILLWORK SUBCONTRACTOR.
- THE PLUMBER IS TO INSTALL BASEBOARD HEATING IN ALL NE ROOMS, WHETHER OR NOT THE BASEBOARD HEATING LOCATIONS ARE INDICATED ON THE PLAN. SAID LOCATIONS ARE TO BE DISCUSSED WITH BOTH THE ARCHITECT AND THE OWNER PRIOR TO INSTALLATION.
- THE GC IS RESPONSIBLE FOR THE DISTRIBUTION OF ALL DRAWINGS TO ALL SUBCONTRACTORS. PARTIAL SETS DO NOT CONSTITUTE COMPLETE DOCUMENTS & AS SUCH, DO NOT DELINEATE ALL ITEMS OF WORK & THEIR COORDINATION WITH OTHER TRADES. ANY ERRORS OR OMISSIONS BY ANY SUBCONTRACTOR RESULTING FROM LACK OF FULL DOCUMENTATION, I.E. INFORMATION WAS ON A DRAWING OR IN PART OF THE SPECIFICATIONS WHICH A SUBCONTRACTOR NEVER RECEIVED, IT IS THE RESPONSIBILITY OF THE GC.
- GC MUST CARRY COMPENSATION & LIABILITY INSURANCE, AS WELL AS WORKMAN'S COMPENSATION AND DISABILITY. GC SHALL BE RESPONSIBLE FOR THE PAYMENT OF ALL TAXES, CONTRIBUTIONS, & OTHER EXPENSES ATTRIBUTABLE TO THE WAGES OF EMPLOYEES PERFORMING REQUIRED WORK.
- GC SHALL BE RESPONSIBLE FOR ALL DEMOLITION WORK REQUIRED. DRAWINGS INDICATE THE LOCATIONS FOR EITHER NEW CONSTRUCTION OR EXISTING CONDITIONS TO REMAIN. ANY EXISTING CONDITION SHOWN ON DEMOLITION DRAWINGS IN DOTTED LINES IS TO BE REMOVED. GC TO VERIFY WITH ARCHITECT THOSE ITEMS NOT INDICATED THAT ARE TO BE REMOVED.
- GC SHALL BE RESPONSIBLE FOR MAKING ALL REPAIRS TO ADJACENT AREAS TO AREA OF WORK DAMAGED DURING PERIOD OF DEMOLITION/ CONSTRUCTION. PROVIDE ADEQUATE PROTECTION TO ALL AREAS OUTSIDE THE SCOPE OF WORK. GC SHALL HAVE AREA "BROOMSWEEP" CLEAN & DEBRIS REMOVED ON A DAILY BASIS.
- ALL MATERIALS SHALL BE NEW AND UNUSED UNLESS OTHERWISE NOTED. ALL DEFECTIVE MATERIALS FURNISHED BY THE GC AND/OR BY SUBCONTRACTORS SHALL BE REMOVED AND REPLACED AT THE CONTRACTORS' EXPENSE AND WITHOUT DELAY TO THE PROJECT.
- GC SHALL REMOVE ALL DEBRIS AS IT ACCUMULATES ON THE JOB SITE FROM THE BUILDING. NO DEBRIS SHALL BE LEFT IN THE CORRIDORS AT ANY TIME.
- GC SHALL LEAVE THE JOB SITE VACUUM/BROOMSWEEP CLEAN AT THE END OF EACH WORK DAY AND AT THE COMPLETION OF THE PROJECT. ALL HARDWARE, METAL & GLASS, AND DOORS SHALL BE CLEANED.
- THIS PLAN IS APPROVED ONLY FOR WORK INDICATED ON THE APPLICATION SPECIFICATION SHEET. ALL OTHER MATTERS SHOWN ARE NOT TO BE RELIED UPON, OR TO BE CONSIDERED AS EITHER BEING APPROVED OR IN ACCORDANCE WITH APPLICABLE CODES.
- ASSUMED SOIL BEARING CAPACITY TO BE 2 TONS PER SQUARE FOOT.
- ALL FOOTINGS TO REST ON VIRGIN, UNDISTURBED SOIL.
- CONCRETE TO BE PLAIN, UNREINFORCED 4,500 PSI, 28-DAY TEST, MIN.
- ALL LUMBER TO BE DOUGLAS FIR, F=1,750 PSI.
- DOUBLE JACK STUDS UNDER ALL HEADERS IS REQUIRED, UNLESS OTHERWISE NOTED.
- ALL LUMBER USED FOR THE CONSTRUCTION OF PLATFORMS, STAIRS, ETC. SHALL BE FIRE RETARDANT LUMBER, UL #2574 FR-5 LUMBER. WOOD SILLS THAT SIT ATOP OF CONCRETE WALLS AND SLABS TO BE VOLCANIZED/TREATED LUMBER, MER #628. INSTALL TERMITES SHIELD ALONG EXTERIOR PERIMETER OF CONCRETE FOUNDATION WALL.
- ALL NEW FLOORS TO RECEIVE A 3/4" THICK PLYWOOD SUBFLOOR WITH 3/4" THICK FINISH FLOOR, TO BE EITHER DAK OR PINE, AS PER THE OWNER.
- ALL HEADERS TO BE 2" x 6", UNLESS OTHERWISE NOTED.
- DESIGN LOADINGS ARE AS FOLLOWS, PER SQUARE FOOT:

LOCATION	LIVE LOAD	DEAD LOAD	DEFLECTION LIMIT
1ST FLOOR	40 LBS	10 LBS	L/360
2ND FLOOR	40 LBS	10 LBS	L/360
ATTIC (NON-STOR.)	10 LBS	5 LBS	L/240
ROOF (W/ FIN. CLG)	30 LBS	15 LBS	L/240
ROOF (NO FIN. CLG)	30 LBS	7 LBS	L/180

CEILING BEAMS MAY HAVE TO BE INCREASED FOR STORAGE ATTICS AND RAFTERS INCREASED FOR HIGHER SNOW LOAD.



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INTERIOR ALTERATION:
 SINGLE FAMILY DWELLING
 290 GROVE STREET
 TOWNSHIP OF MONTCLAIR, NJ

Date: 5/25/2017
 Drawn By: N.A.
 Checked By: J.S.
 Job No: 17-

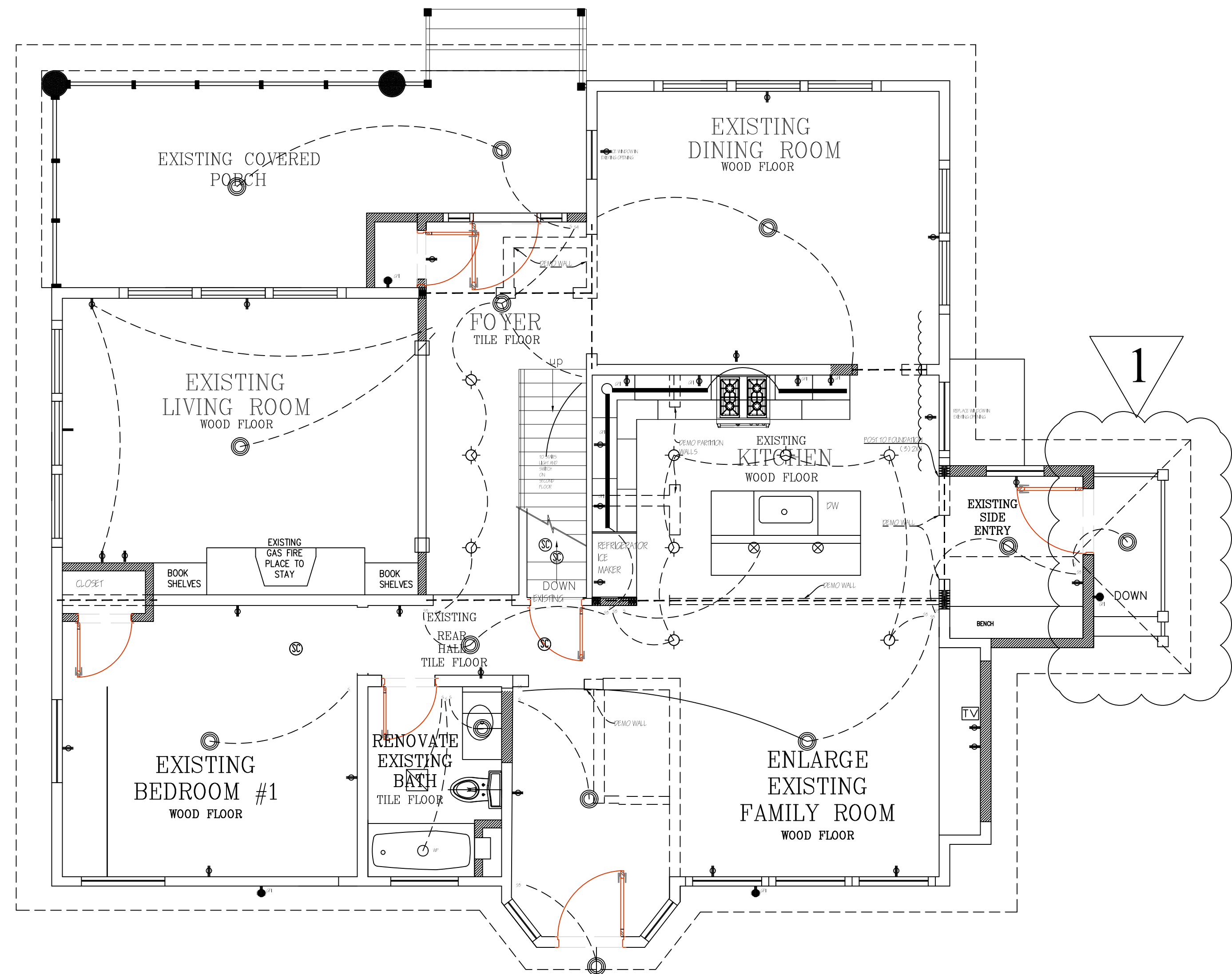
Drawing Title:
BASEMENT PLAN, PLUMBING AND GAS RISER DIAGRAMS AND NOTES

Dwg No.

A-100.00

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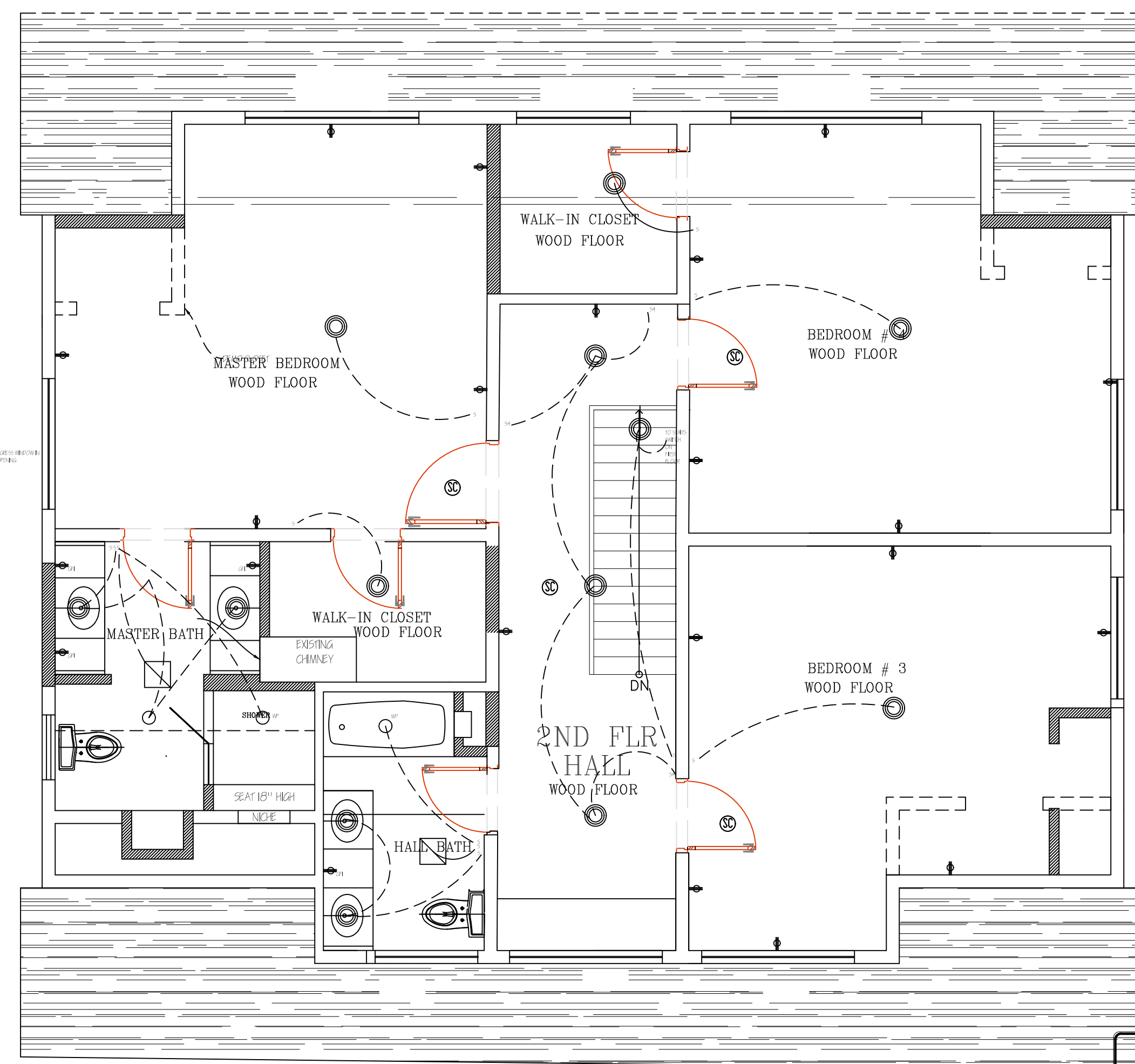
is a violation of law for any person, unless he or she is acting under the direction of a licensed professional architect, to alter an item in any way, if an item bearing the seal of an architect is altered, without the written consent of the architect. The architect shall be responsible for the design and construction of the alteration. The architect shall not be responsible for the design and construction of the alteration if the alteration is made without the written consent of the architect.



FIRST FLOOR PLAN
SCALE : 1/4" = 1'-0"

ELECTRICAL NOTES:

1. ALL WORK SHALL BE PERFORMED IN FULL ACCORDANCE WITH THE **2015 NATIONAL ELECTRIC CODE** AND ANY AND ALL APPLICABLE LOCAL AND STATE OF NEW JERSEY ELECTRICAL CODES AND ORDINANCES.
2. EXISTING 100 AMP SERVICE CIRCUIT BREAKER PANEL TO REMAIN
3. ALL WALL OUTLETS SHALL BE INSTALLED IN THE RESIDENCE AT A HEIGHT OF 18" AFF. UNLESS OTHERWISE NOTED. ALL SERVICE OUTLETS SHOWN AS "BACK TO BACK" SHALL BE OFFSET A MINIMUM OF 6" IN THE FIELD, AS COORDINATED BY THE ARCHITECT. ALL ELECTRICAL OUTLETS, TELEPHONE, AND CABLE OUTLETS LOCATED SIDE BY SIDE, SHALL BE INSTALLED WITH CENTERS AT 6" APART, UNLESS OTHERWISE NOTED. **OUTLETS AND SWITCHES ARE TO BE "GANDED" TOGETHER WHERE EVER POSSIBLE.**
4. ANY EXISTING OUTLET NOT SHOWN ON THE PLAN ON AN EXISTING REMAINING WALL, SHALL BE DETERMINED TO BE "EXISTING TO REMAIN". ALL OTHER OUTLETS ON WALLS BEING REMOVED ARE TO BE DETERMINED TO BE "EXISTING TO BE REMOVED", AND SHALL NOT BE REPLACED DURING THE COURSE OF CONSTRUCTION. BOTH THE ELECTRICAL SUB-CONTRACTOR AND THE GC WILL VERIFY THE LOCATION OF ALL EXISTING ELECTRIC OUTLETS IN THE AREA OF WORK.
5. WALL OUTLETS TO BE INSTALLED ABOVE CABINETS/ COUNTERTOPS, SHALL BE AT THE SPECIFIED DIMENSION FROM THE FINISHED FLOOR TO THE **CENTER** OF THE OUTLET. INSTALL OUTLET WITH THE LONG DIMENSION RUNNING PARALLEL TO THE FLOOR LINE.
6. NO COVER PLATES AT ANY OUTLET LOCATION SHALL BE INSTALLED UNTIL APPLICATION OF ALL FINISH MATERIALS HAS BEEN COMPLETED. OUTLETS INSTALLED SHALL BE FULLY PROTECTED DURING THE FINISH PROCESS.
7. NEW SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS SHALL BE INSTALLED IN THE APPROVED MANNER REGARDING HARDWIRING THEM TO A SINGLE SEPARATE POWER SOURCE. ALL SMOKE AND CARBON MONOXIDE DETECTORS MUST MEET THE REQUIREMENTS OF THE **UNIFORM FIRE CODE OF THE STATE OF NEW JERSEY**, THE **INTERNATIONAL BUILDING CODE OF NEW JERSEY/2015**, AND THE **INTERNATIONAL RESIDENTIAL CODE OF NEW JERSEY/2015**
8. ALL LIGHTING FIXTURES AND SWITCHES INDICATED ON THE PLAN ARE FOR DESIGN, LOCATION, AND SPECIFICATIONS ONLY. THE GENERAL CIRCUITING AND TECHNICAL SPECIFICATION INFORMATION SHALL BE OBTAINED FROM THE ELECTRICAL CONTRACTOR. THE ELECTRICAL CONTRACTOR SHALL SUBMIT TO THE ARCHITECT AND/OR OWNER, THROUGH THE GC, CUTS (MINIMUM OF 2) OF ALL FIXTURES FOR REVIEW AND APPROVAL. ALL SPECIFIED FIXTURES MAY BE SUBSTITUTED FOR AN APPROVED EQUAL FIXTURE.
9. FASCIAS/SOFFITS SHALL BE AS SHOWN ON THE PLANS. ALL SOFFITS SHALL BE LEVEL AND TRUE, WITH THE FASCIAS PLUMB, WITH NO DISTORTION.



SECOND FLOOR PLAN
SCALE : 1/4" = 1'-0"

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INTERIOR ALTERATION:
SINGLE FAMILY DWELLING
290 GROVE STREET
TOWNSHIP OF MONTCLAIR, NJ

Date:	5/25/2017
Drawn By:	N.A.
Checked By:	J.S.
Job No:	17-
Revisions	

Drawing Title:
1ST AND 2ND FLOOR ELECTRICAL PLANS

Draw No.
E-100.00
4 OF 4