

# ADDITION TO AN EXISTING ONE FAMILY DWELLING

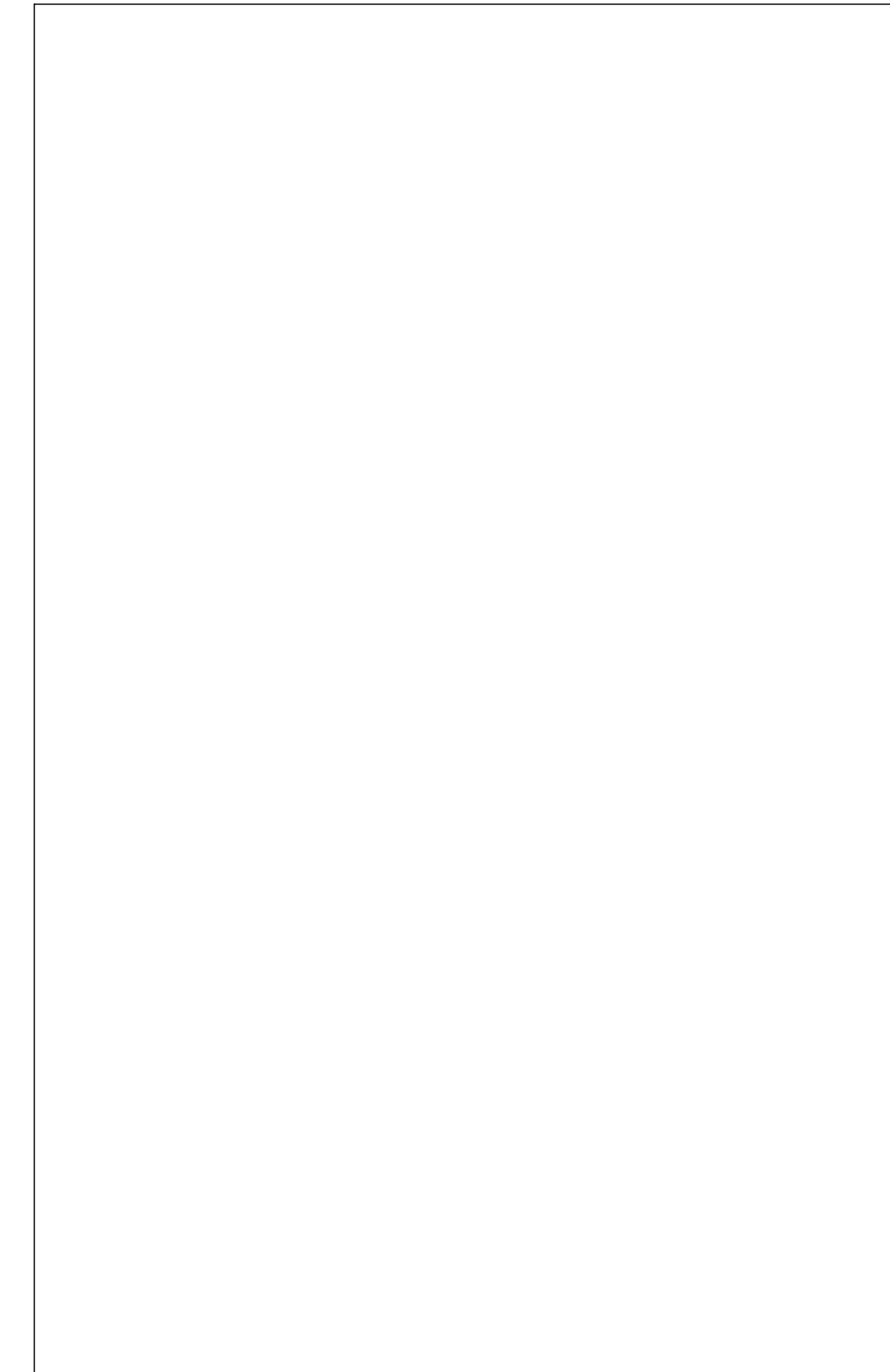
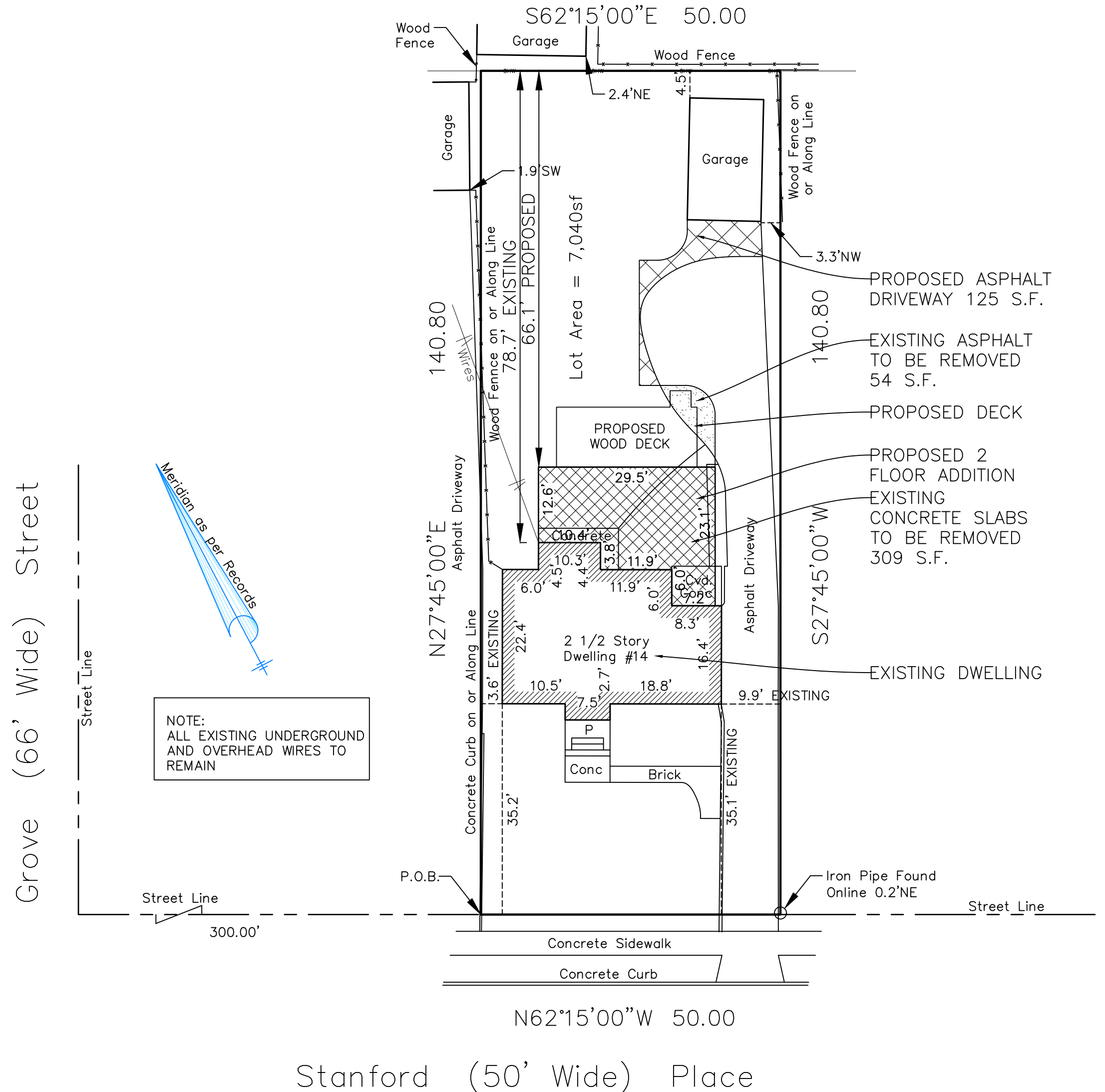
BASMOUK LLC.  
14 STANFORD AVENUE  
MONTCLAIR, NJ 07042

## GENERAL NOTES:

- THESE PLANS ARE TO BE USED IN CONJUNCTION WITH THE OUTLINE SPECIFICATIONS, WHEN PROVIDED.
- THE FLOOR PLANS SHOWN SHALL BE FOR THE CONSTRUCTION OF DORMER ON THE ATTIC LEVEL AND THE INTERIOR RENOVATION OF ATTIC LEVEL OF THE EXISTING ONE FAMILY RESIDENCE, WHICH IS CLASSIFIED BY THE **NEW JERSEY BUILDING CODE/ICC LATEST EDITION** AS USE GROUP R-5. THE TOWNSHIP OF MONTCLAIR CLASSIFIES THIS USE AS AN "R-15" RESIDENTIAL ZONE (FOR ONE FAMILY RESIDENCES), BASED UPON ITS ZONING REGULATIONS.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL STATE AND LOCAL BUILDING CODES AND REGULATIONS.
- THE GENERAL CONTRACTOR AND ALL HIS SUBCONTRACTORS MUST COMPLY WITH ALL BUILDING RULES AND REGULATIONS AT ALL TIMES.
- ALL PARTITIONS AND FURRING SHALL BE WOOD STUD CONSTRUCTION FOR EXTERIOR & INTERIOR WORK AND SHALL CONFORM TO THE **NEW JERSEY BUILDING CODE/ICC LATEST EDITION**, THE **NEW JERSEY RESIDENTIAL CODE/ICC LATEST EDITION** AND THE **UNIFORM CONSTRUCTION CODE OF THE STATE OF NEW JERSEY**.
- ELECTRIC WORK TO CONFORM TO THE **NATIONAL ELECTRIC CODE/2011** AND THE NEW JERSEY ELECTRIC CODE. PROVIDE A MINIMUM OF ONE SMOKE DETECTOR PER BEDROOM AND ON EACH FLOOR. PROVIDE A MINIMUM OF ONE CARBON MONOXIDE DETECTOR ON EACH FLOOR. ALL SMOKE AND CARBON MONOXIDE DETECTORS TO BE HARDWIRED.
- INDOOR DESIGN TEMPERATURE SHALL BE MAX. 72° FOR HEATING AND MIN. 78° FOR COOLING BASED ON 10° WINTER AND 83° SUMMER TEMPERATURE LISTED AS PER THE **NEW JERSEY BUILDING CODE/ICC LATEST EDITION** ENERGY CONSERVATION SECTION.
- ALL EXPOSED HOT WATER PIPING AND/OR HEATING DUCTS TO BE INSULATED AS PER ENERGY CONSERVATION SECTION OF THE **NJBC/ICC LATEST EDITION**.
- THESE PLANS ARE DESIGNED TO MEET OR EXCEED THE REQUIREMENTS OF THE **NEW JERSEY BUILDING CODE/ICC LATEST EDITION**. VERIFY ANY CHANGES IN CODE THAT MIGHT EFFECT CONSTRUCTION WITH THE TOWNSHIP OF MONTCLAIR BUILDING DEPT.
- THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR SAFETY PRECAUTIONS & PROGRAMS IN CONNECTION WITH THE WORK. THERE ARE NO WARRANTIES, NOR ANY MERCHANTABILITY OF FITNESS FOR A SPECIFIED USE EXPRESSED OR IMPLIED IN THE USE OF THESE PLANS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE STARTING CONSTRUCTION. **DO NOT SCALE DRAWINGS, FOLLOW DIMENSIONS ONLY !!!**
- ALL ELECTRIC HEAT, ETC. SHALL CONFORM TO PSE&G, NJSEC, NEC, & NBFU REQUIREMENTS.
- THE ARCHITECT'S CERTIFICATION APPLIES ONLY TO THESE PLANS CONFORMANCE TO THE **NEW JERSEY BUILDING CODE/ICC LATEST EDITION**, THE **NEW JERSEY RESIDENTIAL CODE/ICC LATEST EDITION** AND THE **UNIFORM CONSTRUCTION CODE OF THE STATE OF NEW JERSEY**.
- GC TO INFORM THE ARCHITECT IF THERE ARE ANY DISCREPANCIES BETWEEN THE PLANS & EXISTING SITE CONDITIONS. NO WORK IS TO PROCEED UNTIL DISCREPANCIES ARE CLARIFIED & CORRECTED.
- ALL PLUMBING FIXTURES TO BE SUPPLIED AND INSTALLED BY PLUMBING SUBCONTRACTOR. ALL PIPING TO BE A MINIMUM SIZE OF 1/2" DIAMETER. WATER METER & STREET SERVICE AND 1" DIAMETER WATER SERVICE & DISTRIBUTION TO ALLOW FOR THE TOTAL NUMBER OF BATHROOMS PLUMBING IN THE RESIDENCE. SUBCONTRACTOR TO SUPPLY ALL NECESSARY INFORMATION FOR CUT-OUTS TO BE PERFORMED BY MILLWORK SUBCONTRACTOR.
- THE PLUMBER IS TO INSTALL BASEBOARD HEATING IN ALL NE ROOMS, WHETHER OR NOT THE BASEBOARD HEATING LOCATIONS ARE INDICATED ON THE PLAN. SAID LOCATIONS ARE TO BE DISCUSSED WITH BOTH THE ARCHITECT AND THE OWNER PRIOR TO INSTALLATION.
- THE GC IS RESPONSIBLE FOR THE DISTRIBUTION OF ALL DRAWINGS TO ALL SUBCONTRACTORS. PARTIAL SETS DO NOT CONSTITUTE COMPLETE DOCUMENTS & AS SUCH, DO NOT DELINEATE ALL ITEMS OF WORK & THEIR COORDINATION WITH OTHER TRADES. ANY ERRORS OR OMISSIONS BY ANY SUBCONTRACTOR RESULTING FROM LACK OF FULL DOCUMENTATION, I.E.: INFORMATION WAS ON A DRAWING OR IN PART OF THE SPECIFICATIONS WHICH A SUBCONTRACTOR NEVER RECEIVED, IT IS THE RESPONSIBILITY OF THE GC.
- GC MUST CARRY COMPENSATION & LIABILITY INSURANCE, AS WELL AS WORKMAN'S COMPENSATION AND DISABILITY. GC SHALL BE RESPONSIBLE FOR THE PAYMENT OF ALL TAXES, CONTRIBUTIONS, & OTHER EXPENSES ATTRIBUTABLE TO THE WAGES OF EMPLOYEES PERFORMING REQUIRED WORK.
- GC SHALL BE RESPONSIBLE FOR ALL DEMOLITION WORK REQUIRED. DRAWINGS INDICATE THE LOCATIONS FOR EITHER NEW CONSTRUCTION OR EXISTING CONDITIONS TO REMAIN. ANY EXISTING CONDITION SHOWN ON DEMOLITION DRAWINGS IN DOTTED LINES IS TO BE REMOVED. GC TO VERIFY WITH ARCHITECT THOSE ITEMS NOT INDICATED THAT ARE TO BE REMOVED.
- GC SHALL BE RESPONSIBLE FOR MAKING ALL REPAIRS TO ADJACENT AREAS TO AREA OF WORK DAMAGED DURING PERIOD OF DEMOLITION/ CONSTRUCTION. PROVIDE ADEQUATE PROTECTION TO ALL AREAS OUTSIDE THE SCOPE OF WORK. GC SHALL HAVE AREA "BROOMSWEEP" CLEAN & DEBRIS REMOVED ON A DAILY BASIS.
- ALL MATERIALS SHALL BE NEW AND UNUSED UNLESS OTHERWISE NOTED. ALL DEFECTIVE MATERIALS FURNISHED BY THE GC AND/OR BY SUBCONTRACTORS SHALL BE REMOVED AND REPLACED AT THE CONTRACTORS' EXPENSE AND WITHOUT DELAY TO THE PROJECT.
- GC SHALL REMOVE ALL DEBRIS AS IT ACCUMULATES ON THE JOB SITE FROM THE BUILDING. NO DEBRIS SHALL BE LEFT IN THE CORRIDORS AT ANY TIME.
- GC SHALL LEAVE THE JOB SITE VACUUM/BROOMSWEEP CLEAN AT THE END OF EACH WORK DAY AND AT THE COMPLETION OF THE PROJECT. ALL HARDWARE, METAL & GLASS, AND DOORS SHALL BE CLEANED.
- THIS PLAN IS APPROVED ONLY FOR WORK INDICATED ON THE APPLICATION SPECIFICATION SHEET. ALL OTHER MATTERS SHOWN ARE NOT TO BE RELIED UPON, OR TO BE CONSIDERED AS EITHER BEING APPROVED OR IN ACCORDANCE WITH APPLICABLE CODES.**
- ASSUMED SOIL BEARING CAPACITY TO BE 2 TONS PER SQUARE FOOT.
- ALL FOOTINGS TO REST ON VIRGIN, UNDISTURBED SOIL.
- CONCRETE TO BE PLAIN, UNREINFORCED 4,500 PSI, 28-DAY TEST, MIN.
- ALL LUMBER TO BE DOUGLAS FIR, F=1,750 PSI.
- DOUBLE JACK STUDS UNDER ALL HEADERS IS REQUIRED, UNLESS OTHERWISE NOTED.
- ALL LUMBER USED FOR THE CONSTRUCTION OF PLATFORMS, STAIRS, ETC. SHALL BE FIRE RETARDANT LUMBER, UL #2574 FR-S LUMBER. WOOD SILLS THAT SIT ATOP OF CONCRETE WALLS AND SLABS TO BE WOLMANIZED/TREATED LUMBER, NER #628. INSTALL TERMITE SHIELD ALONG EXTERIOR PERIMETER OF CONCRETE FOUNDATION WALL.
- ALL NEW FLOORS TO RECEIVE A 3/4" THICK PLYWOOD SUBFLOOR WITH 1/2" THICK FINISH FLOOR, TO BE EITHER OAK OR PINE, AS PER THE OWNER.
- ALL HEADERS TO BE 2" x 6", UNLESS OTHERWISE NOTED.
- DESIGN LOADINGS ARE AS FOLLOWS, PER SQUARE FOOT:

LOCATION	LIVE LOAD	DEAD LOAD	DEFLECTION LIMIT
1ST FLOOR	40 LBS	10 LBS	L/360
2ND FLOOR	40 LBS	10 LBS	L/360
ATTIC (NON-STOR.)	10 LBS	5 LBS	L/240
ROOF (W/ FIN. CLG.)	30 LBS	15 LBS	L/240
ROOF (NO FIN. CLG.)	30 LBS	7 LBS	L/180

CEILING BEAMS MAY HAVE TO BE INCREASED FOR STORAGE ATTICS AND RAFTERS INCREASED FOR HIGHER SNOW LOAD.



ZONING: BLOCK NO. 4507 - LOT NO. 25				
PRINCIPAL BUILDING:				
ITEM:	REQUIRED	EXISTING	PROPOSED	CHANGES
LOT AREA:	N/A	7,876 S.F.	7,876 S.F.	NO
FRONT YARD:	N/A	35.9 ft.	35.9 ft.	NO
SIDE YARD 1ST (Min.):	6ft.	3.2 ft.	3.2 ft.	NO
2ND:	10 ft.	11 ft.	11 ft.	NO
REAR YARD (max.):	30 ft.	87 ft.	63.6 ft.	YES
HEIGHT: (max. floors)	35 ft./ 2-1/2	84' ft./ 2-1/2	32' 0" ft./ 2-1/2 ST.	YES
LOT COVERAGE (max.):	25%	18.4%	18.1%	YES
BUILDING WIDTH (%):	50% OF FRONTAGE: 65' x 131' x 131'	50% OF FRONTAGE: 65' x 131' x 131'	50% OF FRONTAGE: 65' x 131' x 131'	NO
GARAGE:				
ITEM:	REQUIRED	EXISTING	PROPOSED	PROPOSED
REAR YARD:	6 ft.	N/A	7 ft.	7 ft.
SIDE YARD:	6 ft.	N/A	7 ft.	7 ft.
LOT COVERAGE (max.):	0%	0.0%	17.72%	17.72%
REAR YARD AREA (max.):	1,320 sq. ft. ± 110 sq. ft.		GARAGE AREA: 1,240 sq. ft. ± 110 sq. ft.	GARAGE AREA: 1,240 sq. ft. ± 110 sq. ft.
EXISTING NON-COMFORMITY				

DESIGN CODES:	
ZONING:	LOCAL MUNICIPALITY ZONING ORDINANCE
BUILDING:	UNIFORM CONSTRUCTION CODE - STATE OF NEW JERSEY, INTERNATIONAL RESIDENTIAL BUILDING CODE 2015, NEW JERSEY EDITION, NJAC 5:23-3.21
REHABILITATION SUBCODE:	NJUCC SUBCHAPTER 6, NJAC 5:23-6
ENERGY:	INTERNATIONAL ENERGY CONSERVATION CODE - NJAC 5:23-18
PLUMBING:	NATIONAL STANDARD PLUMBING CODE - 2015, NJAC 5:23-15
MECHANICAL:	INTERNATIONAL MECHANICAL CODE - 2015, NJAC 5:23-3.20
ELECTRICAL:	NATIONAL ELECTRICAL CODE (NFPA 70) - 2014, NJAC 5:23-3.16
GAS:	INTERNATIONAL FUEL GAS CODE - 2015, NJAC 5:23-3.22
USE GROUP:	R-3A ONE FAMILY CONSTRUCTION CLASS - 5B

CAESAR BUSTAMANTE,  
AIA N.J. LIC. NO. 21A00967600

DRAWING ISSUE:		
NO.	DATE	DESCRIPTION
-	11/--/18	ISSUED FOR PERMITS

PROJECT:

ADDITION TO AN  
EXISTING ONE  
FAMILY DWELLING

14 STANFORD AVENUE  
MONTCLAIR, NJ 07042

MUNICIPALITY: MONTCLAIR

BLOCK: -

LOT: -

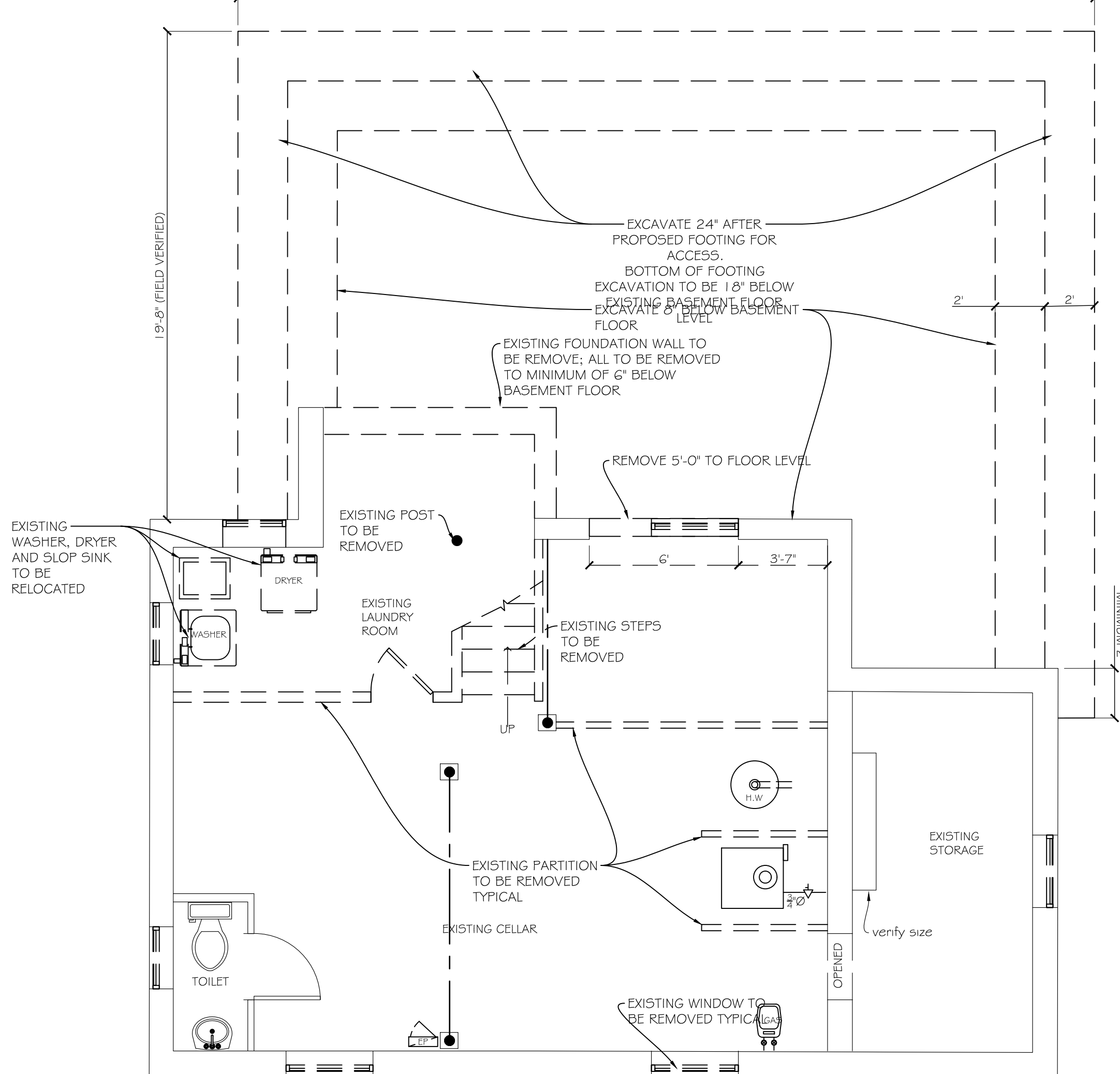
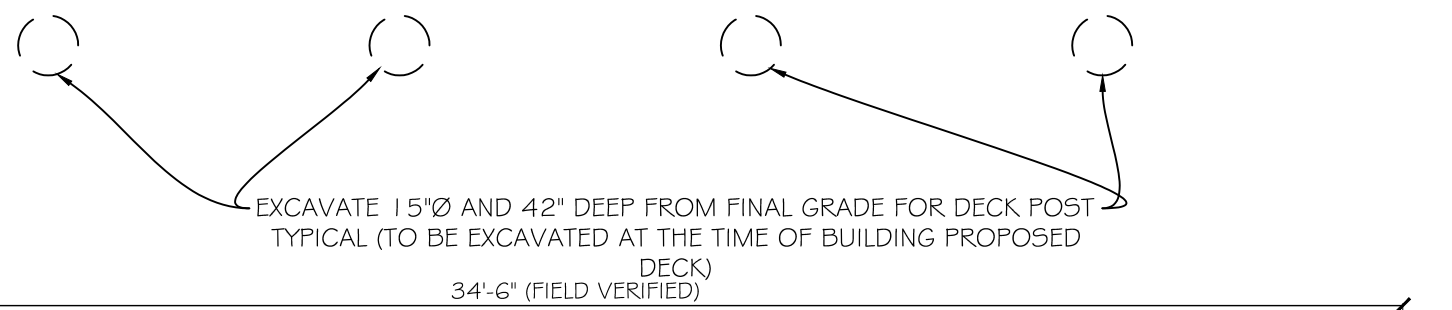
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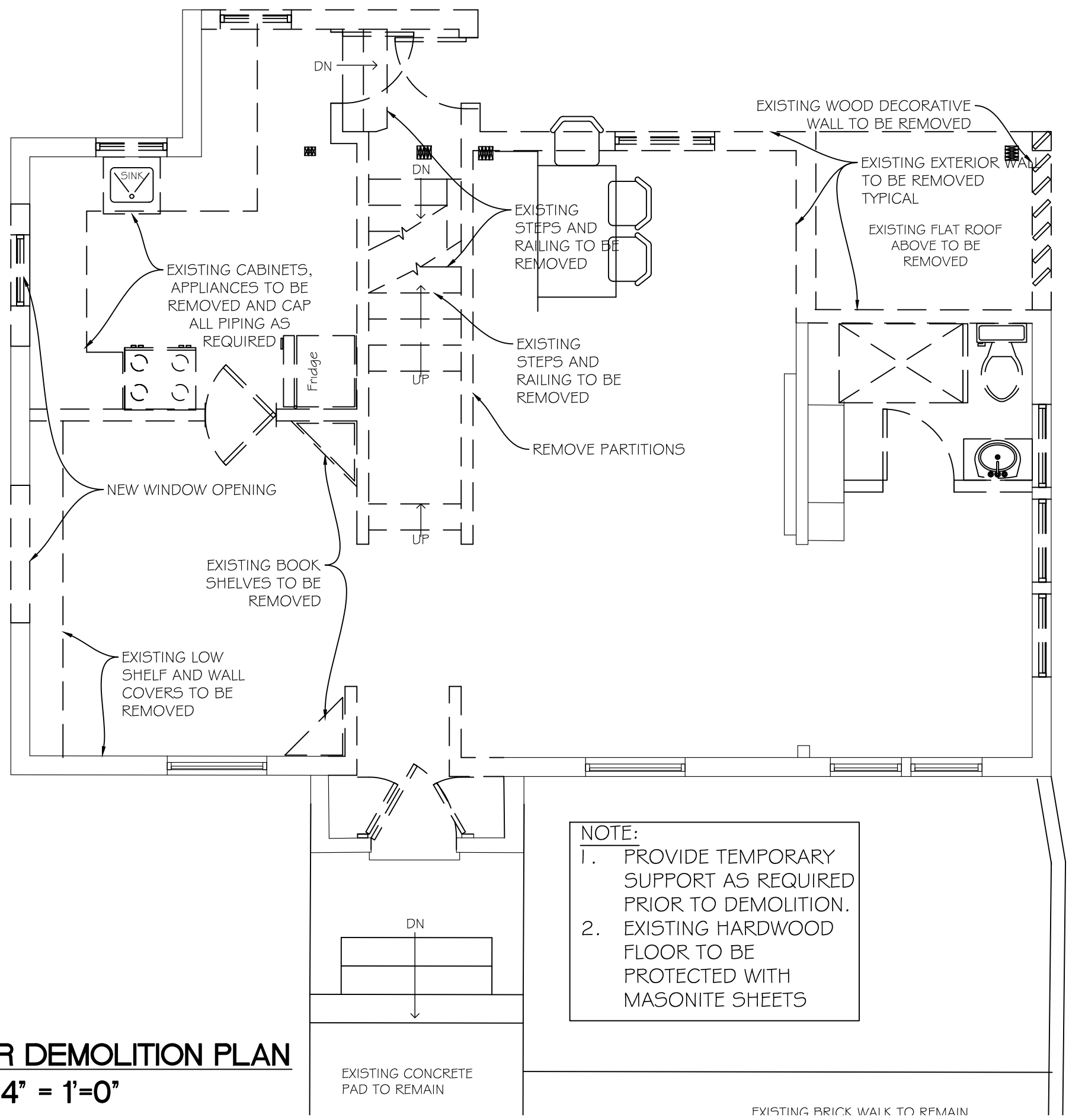
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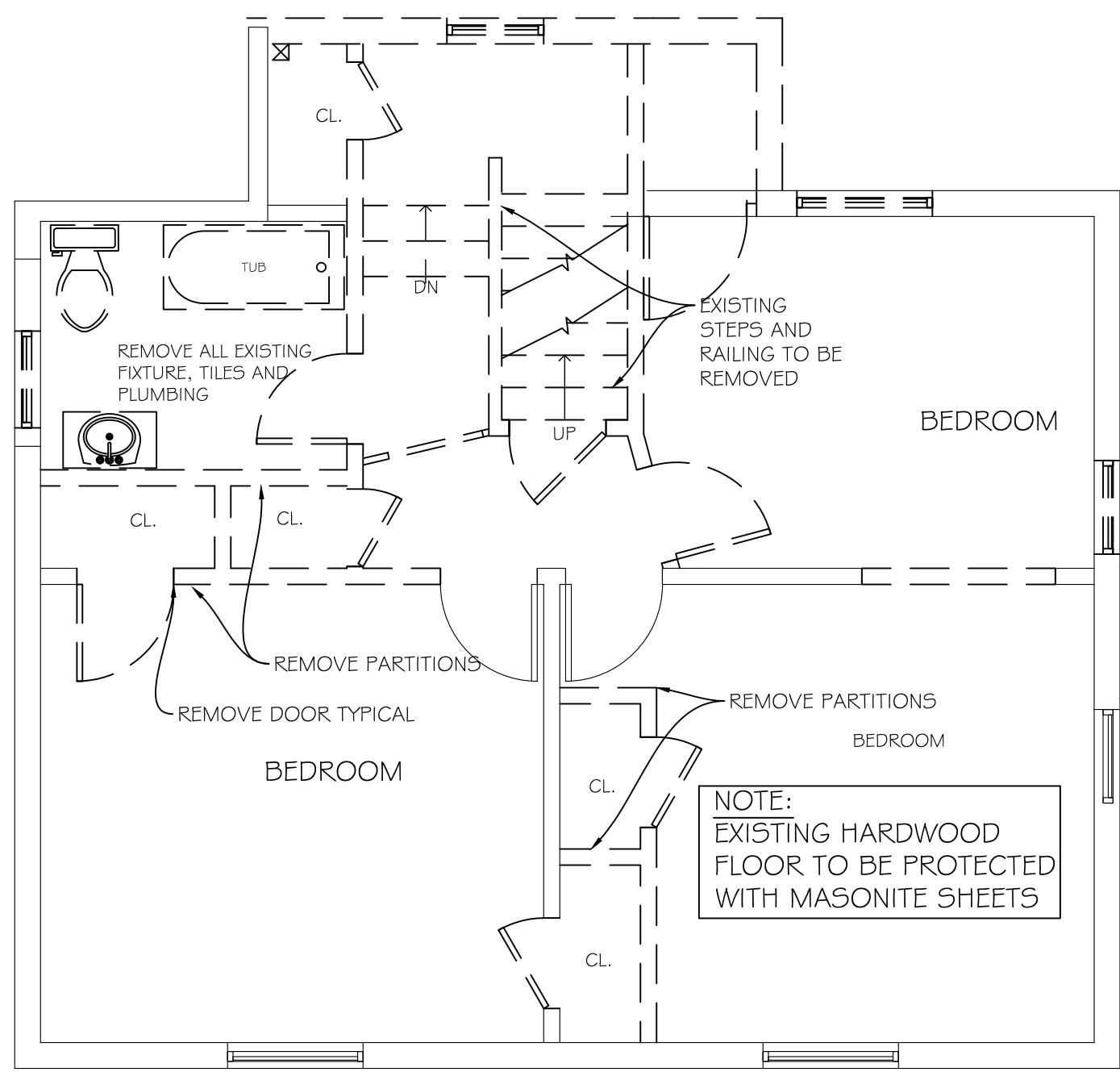
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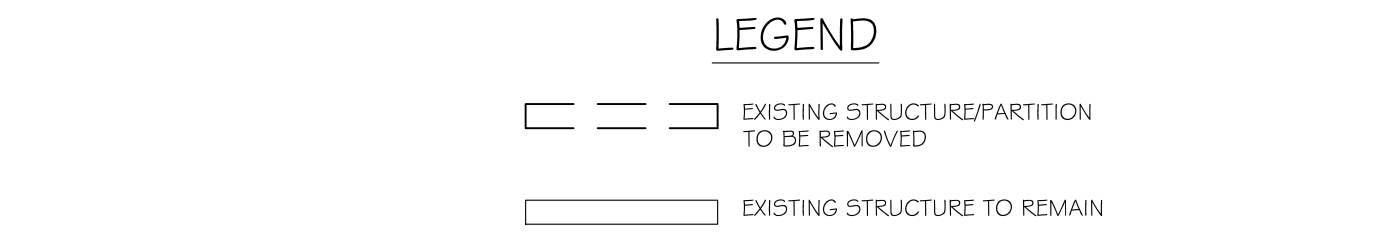
**BASEMENT DEMOLITION PLAN**  
SCALE 1/4" = 1'-0"



**1st FLOOR DEMOLITION PLAN**  
SCALE 1/4" = 1'-0"

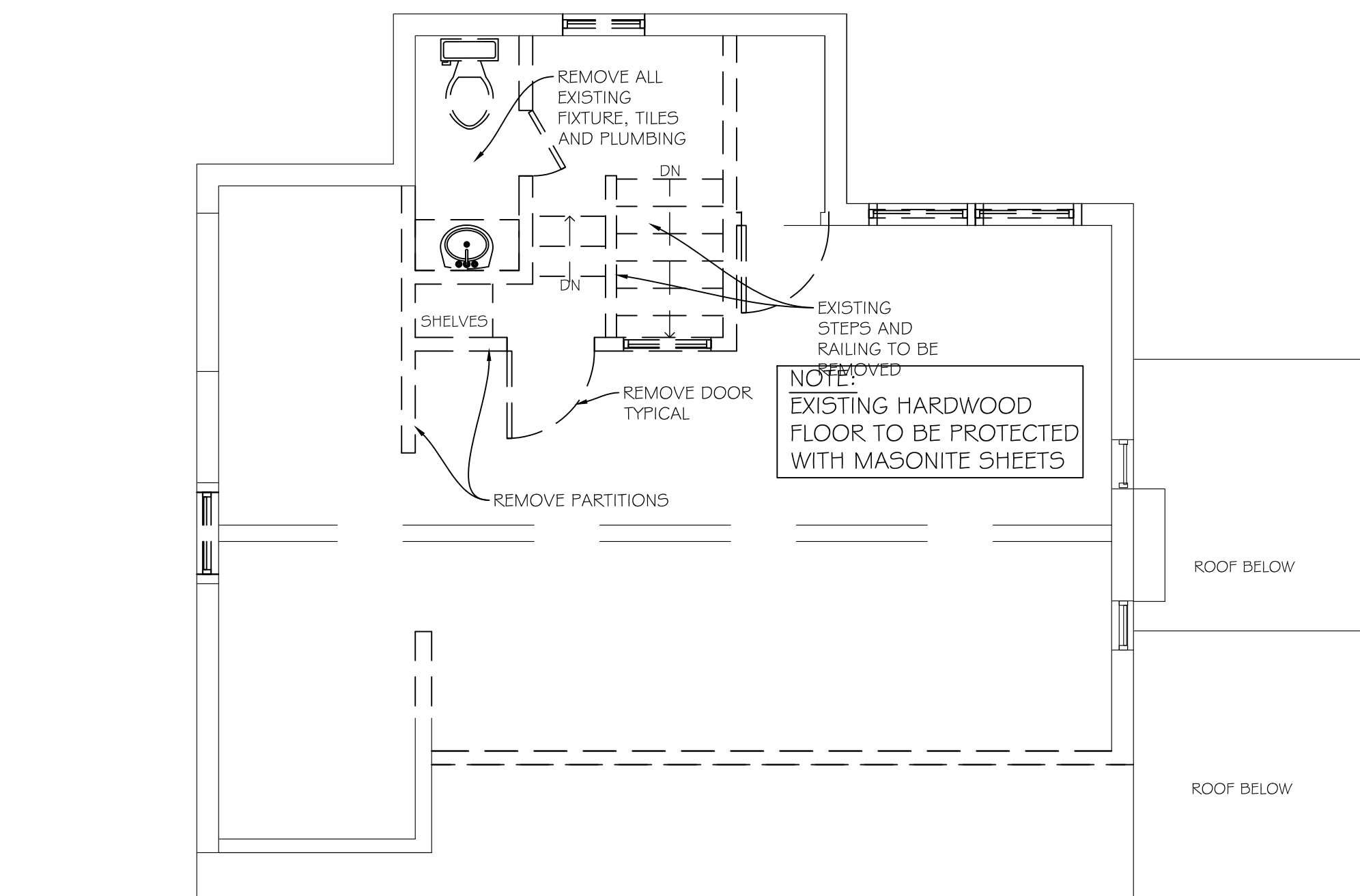


**2ND FLOOR DEMOLITION PLAN**  
SCALE 1/4" = 1'-0"



**DEMOLITION NOTES:**

1. ALL DEMOLITION SHALL CONFORM TO CURRENT CODE, SAFEGUARDS DURING CONSTRUCTION OF THE NJ INTERNATIONAL BUILDING CODE, 2015, AS IT PERTAINS TO SAFETY, ACCESSIBILITY, AND UTILITIES. DEMOLITION PERMIT MUST BE OBTAINED FROM THE TOWNSHIP OF WAYNE BUILDING DEPARTMENT PRIOR TO START OF DEMOLITION.
2. THE GC SHALL FURNISH MATERIALS, LABOR AND SERVICES INCLUDING DUMPSTER AND HUALAGE COSTS FOR THE INTERIOR DEMOLITION OF THE EXISTING RESIDENTIAL BUILDING LOCATED ON THE SITE.
3. SOUND DEMOLITION PRACTICE SHALL GOVERN ALL WORK IN THIS CONTRACT CONCERNING THE AVOIDANCE OF ANY DAMAGE TO THE ADJACENT PROPERTIES AND BUILDINGS ON THEM, IN ADDITION, NO DISRUPTION OF SERVICES/UTILITIES SHALL BE PERMITTED FOR 30 EASTERN PKWY AND ADJACENT PROPERTIES.
4. THE GC SHALL REPAIR IMMEDIATELY ANY DAMAGE DONE TO THE EXISTING ADJACENT SPACE WITHIN THE BUILDING. DAMAGE TO THE EXISTING ADJACENT SPACE WILL BE CONSIDERED FULLY REPAIRED ONLY AFTER APPROVAL BY THE OWNER AND ARCHITECT. ALL REPAIRS SHALL MATCH ORIGINAL CONDITIONS AND CONSTRUCTION. THE COST OF SUCH REPAIRS SHALL BE THE GC'S RESPONSIBILITY.
5. PRIOR TO THE COMMENCEMENT OF DEMOLITION, THE GC SHALL TAKE PRECAUTIONS TO RESTRICT ACCESS TO THE SITE, CONSTRUCTING TEMPORARY DEMISING WALLS TO ALLOW CONTINUED FUNCTION OF MEDICAL OFFICE. WARNING SIGNS ARE TO BE POSTED ON THE SITE DURING THE COURSE OF DEMOLITION AND CONSTRUCTION.
6. THE GC SHALL ACT TO AVOID THE ACCUMULATION OF DEBRIS ON THE SITE DURING THE COURSE OF DEMOLITION. THE SITE SHALL BE KEPT CLEAR OF DEBRIS, WITH SAID DEBRIS BEING PLACED IN DUMPSTERS OR NEATLY PILED ON THE SITE FOR REMOVAL.
7. THE GC SHALL USE EFFECTIVE METHODS TO CONTROL DUST (I.E. VAPOR BARRIERS TIGHTLY SEALED) CAUSED BY THE DEMOLITION SO AS TO PREVENT SAID DUST FROM TRAVELING INTO THE ADJACENT SPACE.
8. THE GC SHALL KEEP THE SITE FREE FROM ACCUMULATION OF WASTE MATERIALS, RUBBISH. EACH DAY TRASH AND DEBRIS REMOVALS SHALL BE MADE. AT COMPLETION OF THE PROJECT, THE GC SHALL REMOVE FROM THE SITE ALL RUBBISH, IMPLEMENTS, AND SURPLUS MATERIALS. THE SITE SHALL BE LEFT BROOM SWEEPED CLEAN UNLESS OTHERWISE NOTED.
  - A. THE GC SHALL BE COMPLETELY RESPONSIBLE FOR THE REMOVAL FROM THE JOB SITE OF ALL VARIOUS VENDOR DEBRIS (CONSTRUCTION MATERIALS/ WASTE/ WRAPPING/ PACKAGES, ETC.), DURING THE ENTIRE COURSE OF THE PROJECT, WITH PARTICULAR ATTENTION TO LAST WEEK(S) OF THE JOB, DURING FURNITURE/ EQUIPMENT INSTALLATIONS AND IMMEDIATELY PRIOR TO MOVE-IN. (THIS SHALL INCLUDE REMOVALS OF PACKAGING FROM TELEPHONE/ COMMUNICATION VENDORS.)
  - B. GC SHALL MAKE AVAILABLE SAME SERVICE SUBSEQUENT TO MOVE-IN AND TO COORDINATE EXPECTED REMOVALS AS JOB APPROACHES MOVE-IN DATE.
  - C. GC SHALL BE RESPONSIBLE FOR FINAL CONSTRUCTION CLEAN-UP, CLEANING OF ALL EXTERIOR AND INTERIOR GLASS SURFACES AND SHALL PROVIDE NAME OF AVAILABLE CLEAN-UP SERVICE(S) WHICH MAY BE CALLED, ON SHORT NOTICE, FOR LAST MINUTE CLEAN-UP AT ODD HOURS (EVENINGS, WEEKENDS, ETC.) ARRANGEMENTS SHALL BE MADE TO HAVE EXTERNAL WINDOW SURFACES CLEANED WITHIN TWO (2) WEEKS OF MOVE-IN OCCUPANCY. GC SHALL COORDINATE ALL WITH OWNER AND ARCHITECT.
9. THE GC SHALL NOT CAUSE AN INTERRUPTION OF SERVICE FOR WATER, ELECTRIC AND TELEPHONE. IF SERVICE IS TO BE INTERRUPTED FOR ANY REASON, THE ADJACENT MEDICAL OFFICE SHALL BE GIVEN A MINIMUM OF 48 HOURS NOTICE.
10. GC SHALL ARRANGE TO HAVE TEMPORARY SERVICE SET AT SITE DURING THE COURSE OF DEMOLITION AND CONSTRUCTION FOR ELECTRIC AND TELEPHONE, AS WELL AS TOILET FACILITIES.



**DORMER DEMOLITION PLAN**  
SCALE 1/4" = 1'-0"

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AIA N.J. LIC. NO. 21A00967600

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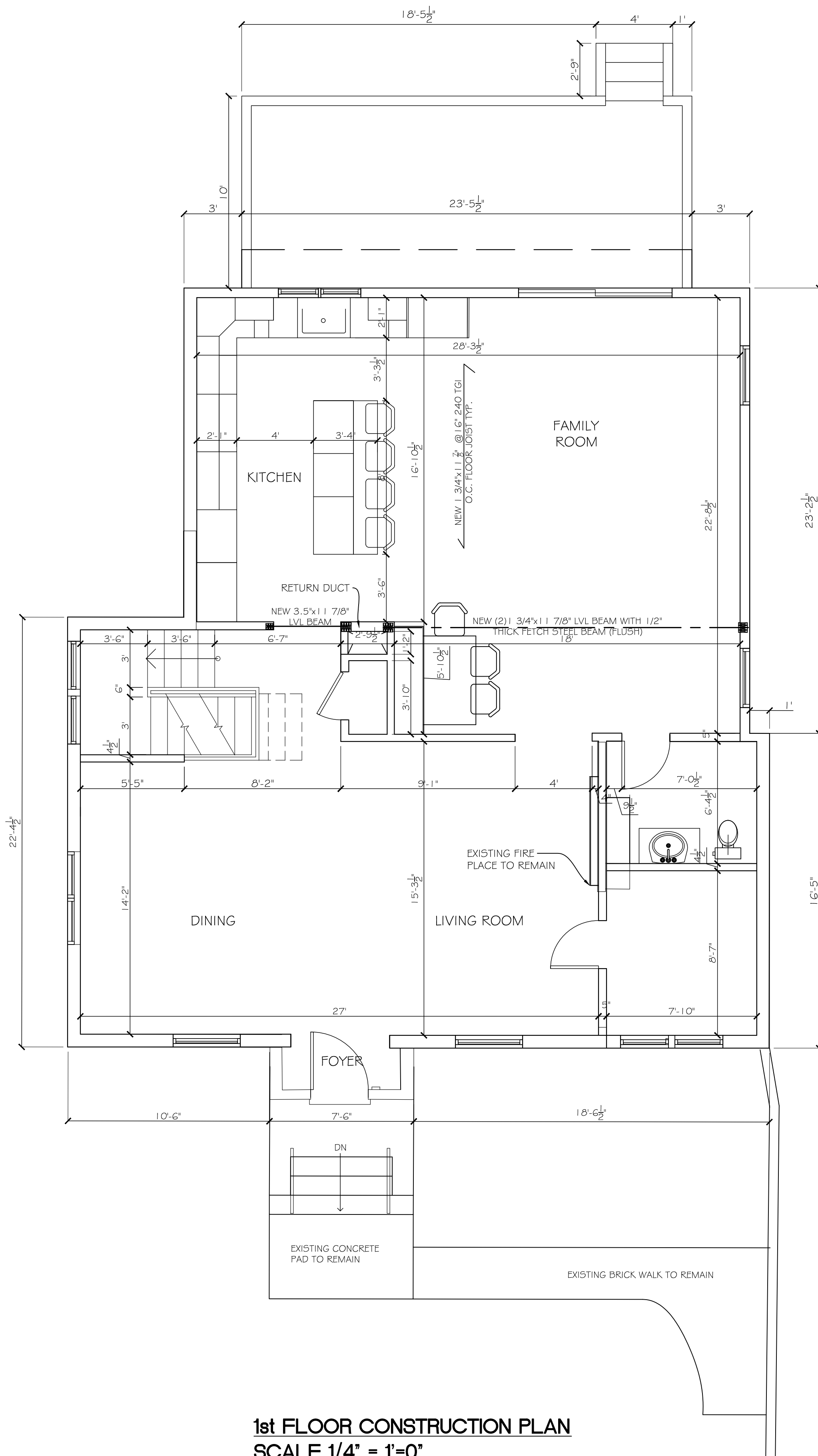
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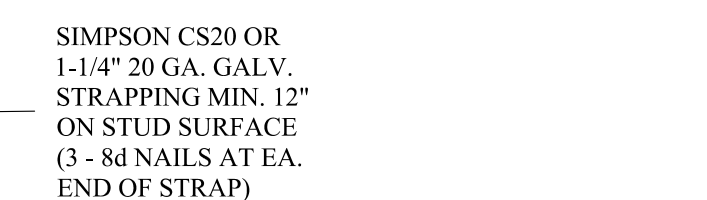
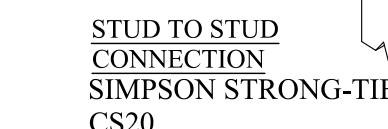
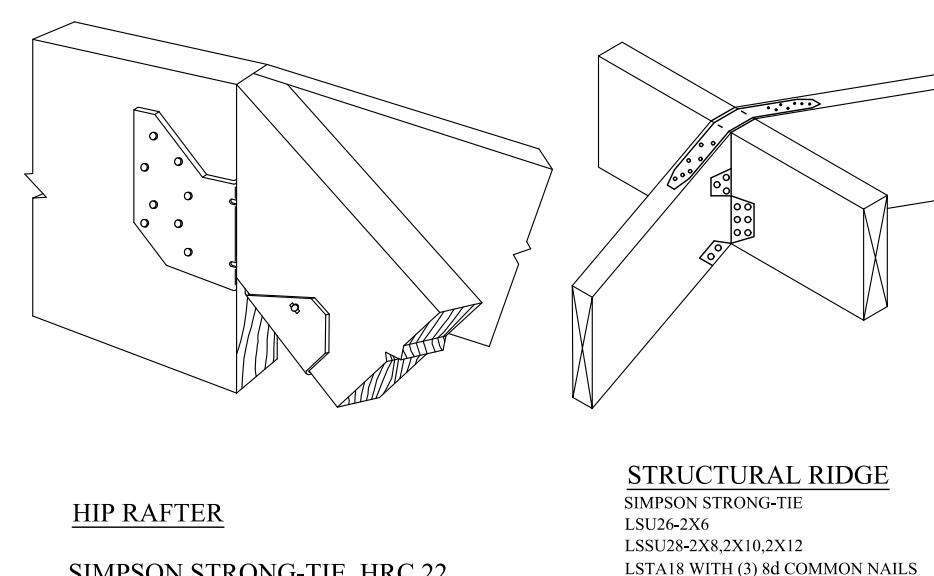
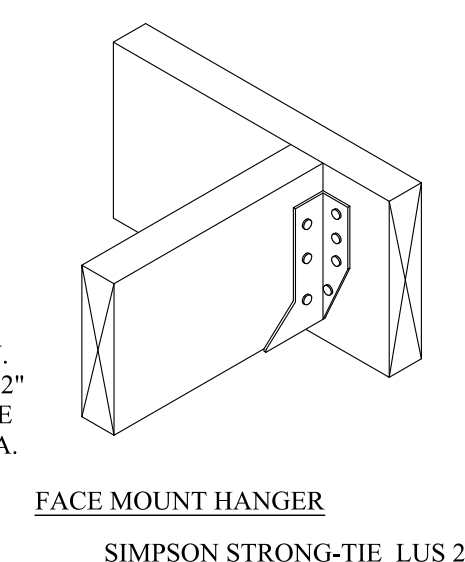
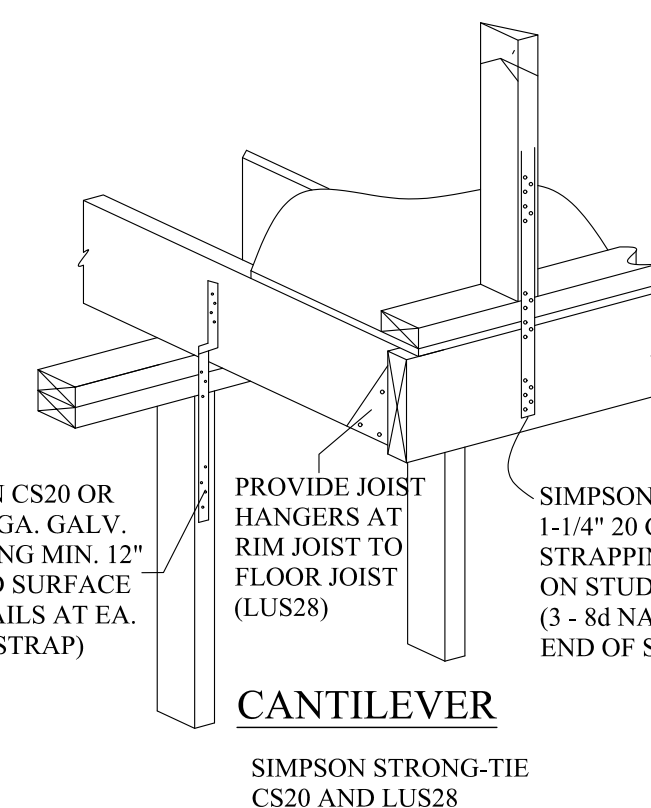
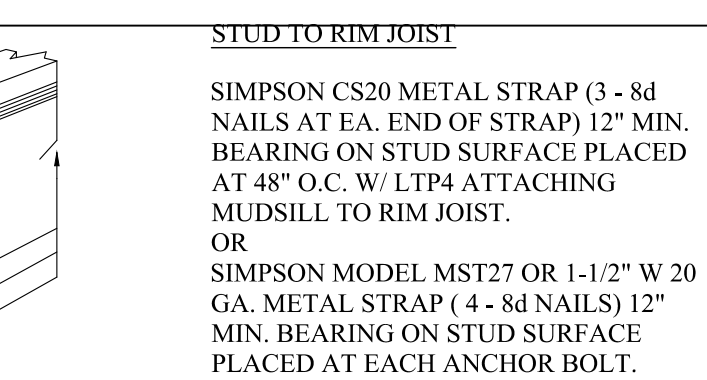
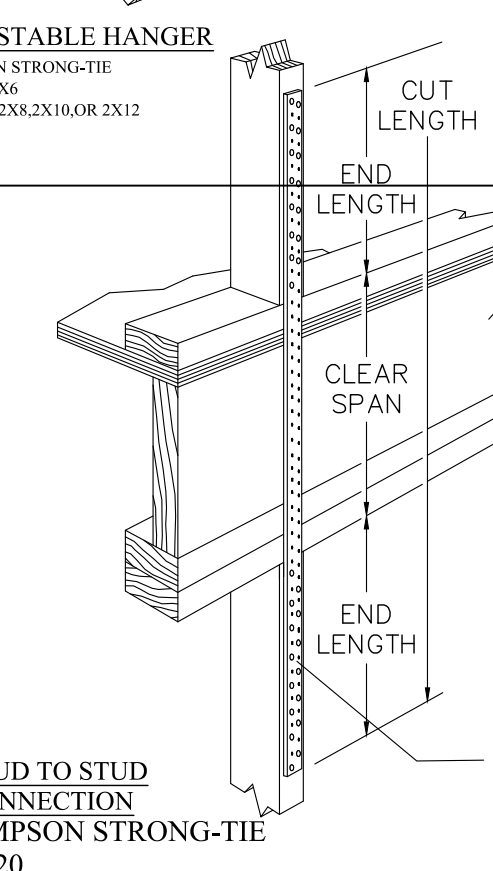
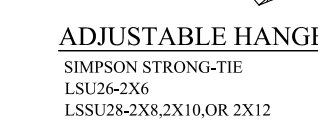
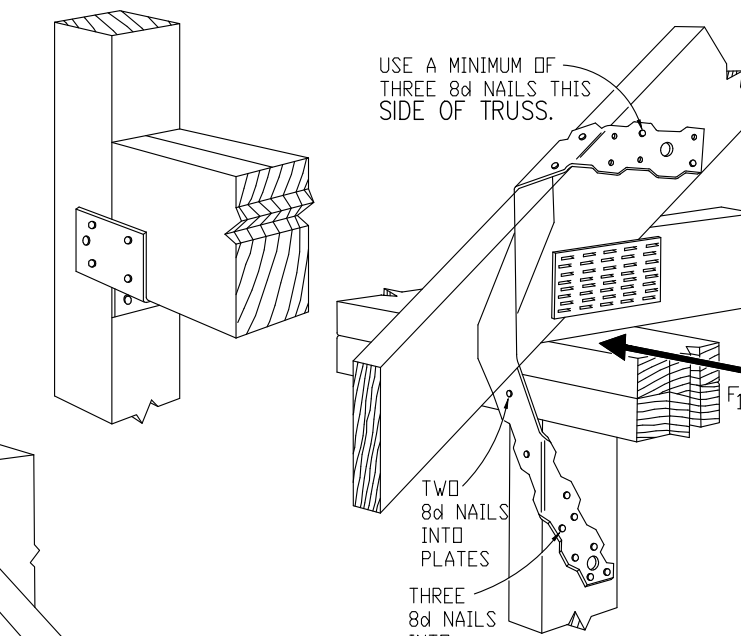
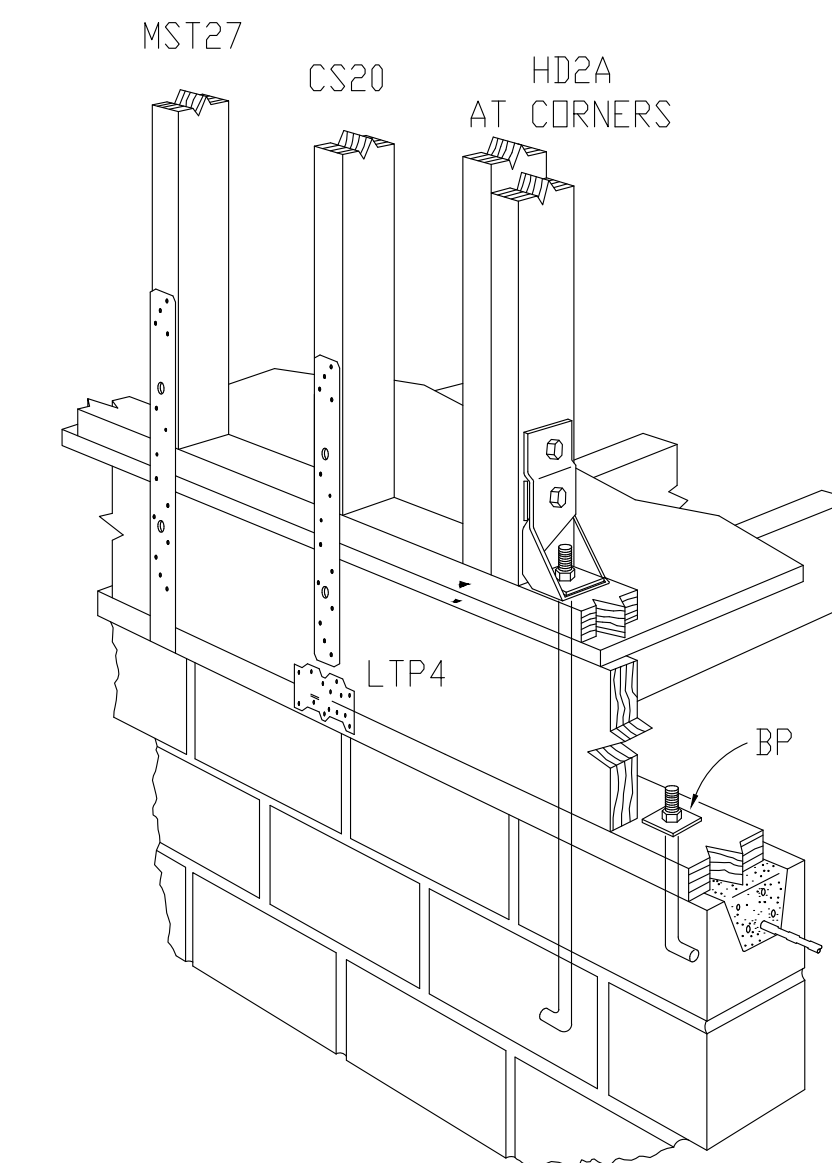
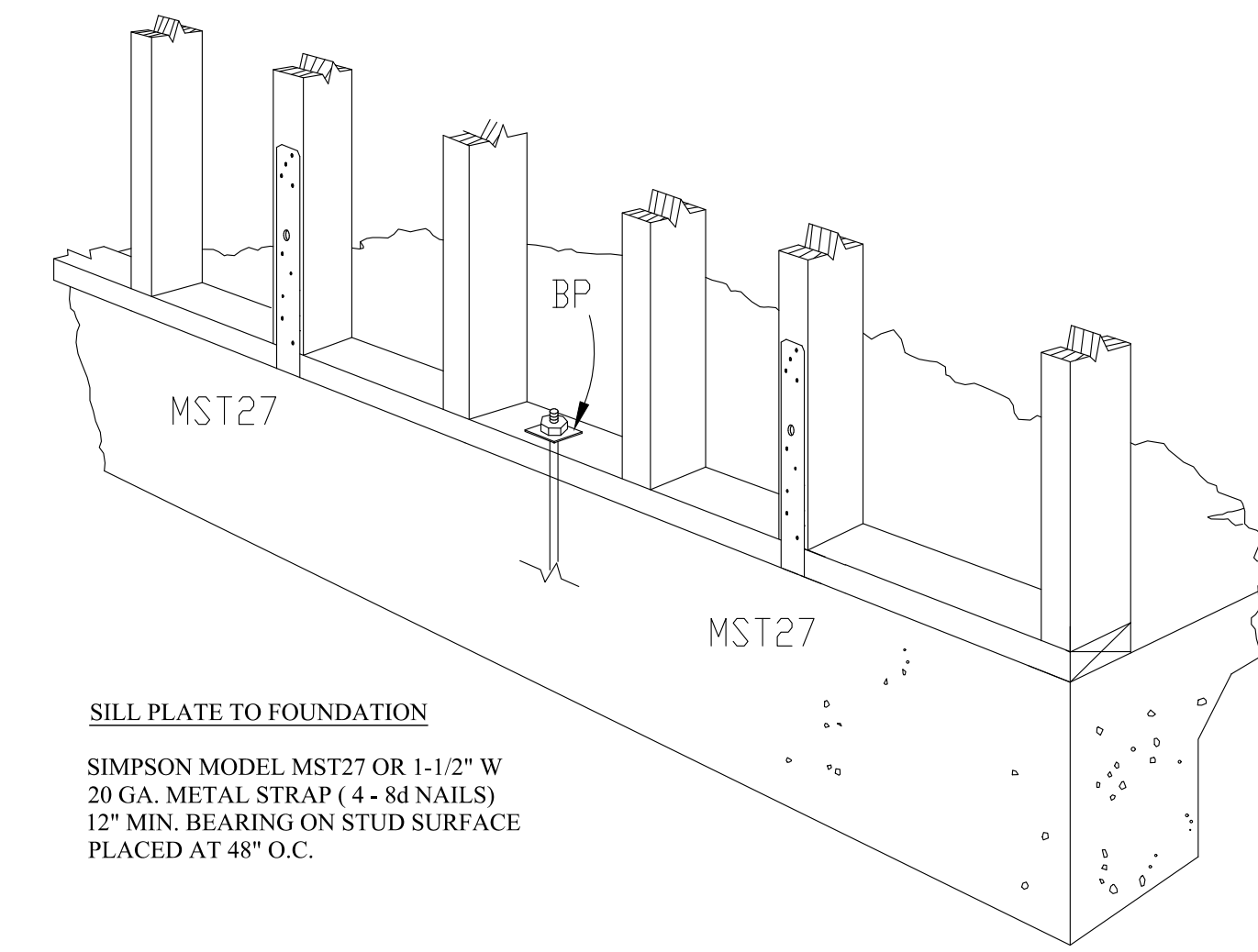
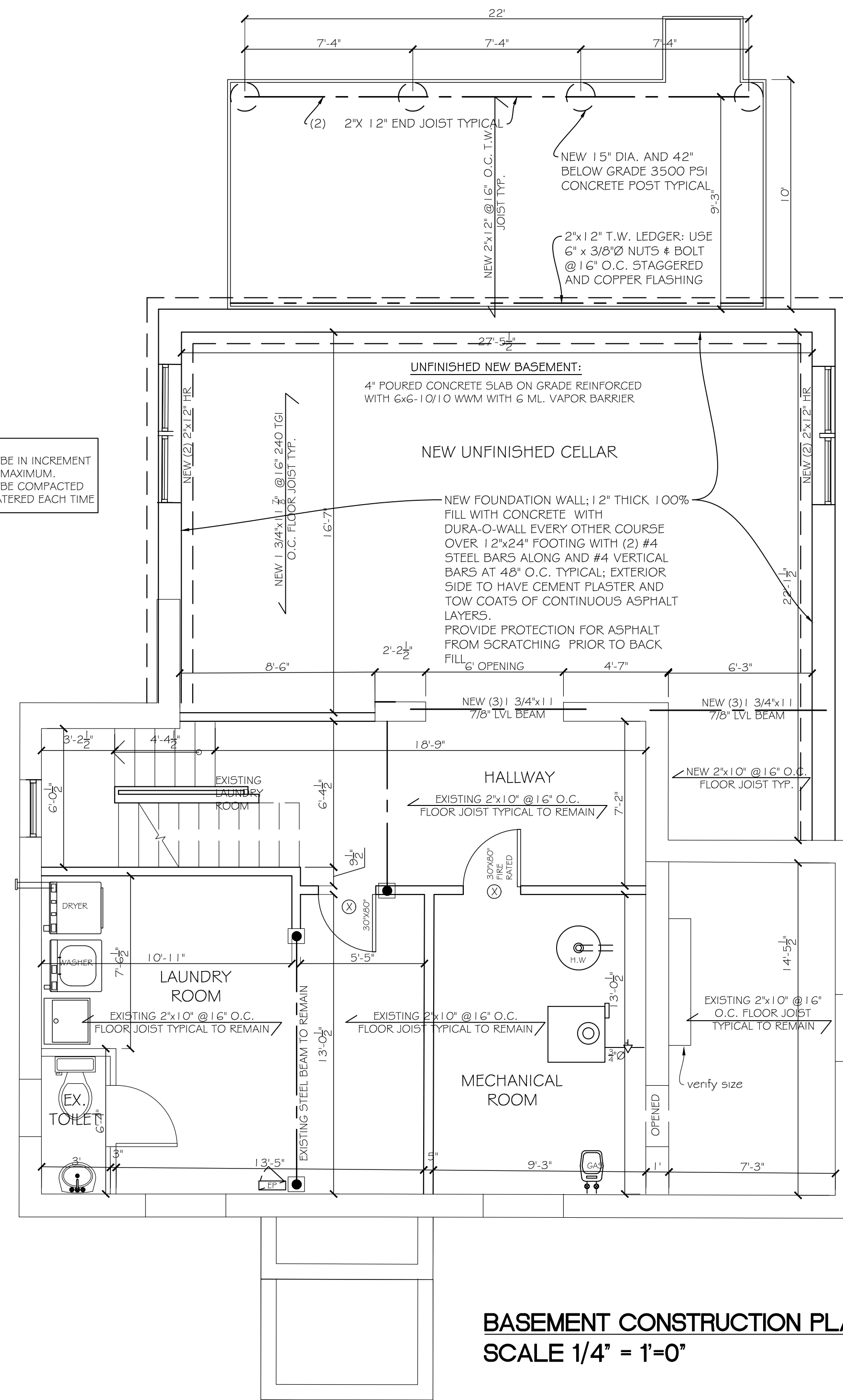
**DEMOLITION PLANS**

DATE: 11/--/18 DRAWING NO.:

SCALE: AS NOTED



NOTE:  
FILL TO BE IN INCREMENT OF 12" MAXIMUM.  
FILL TO BE COMPACTED AND WATERED EACH TIME



**HURRICANE DETAILS**  
N.T.S.

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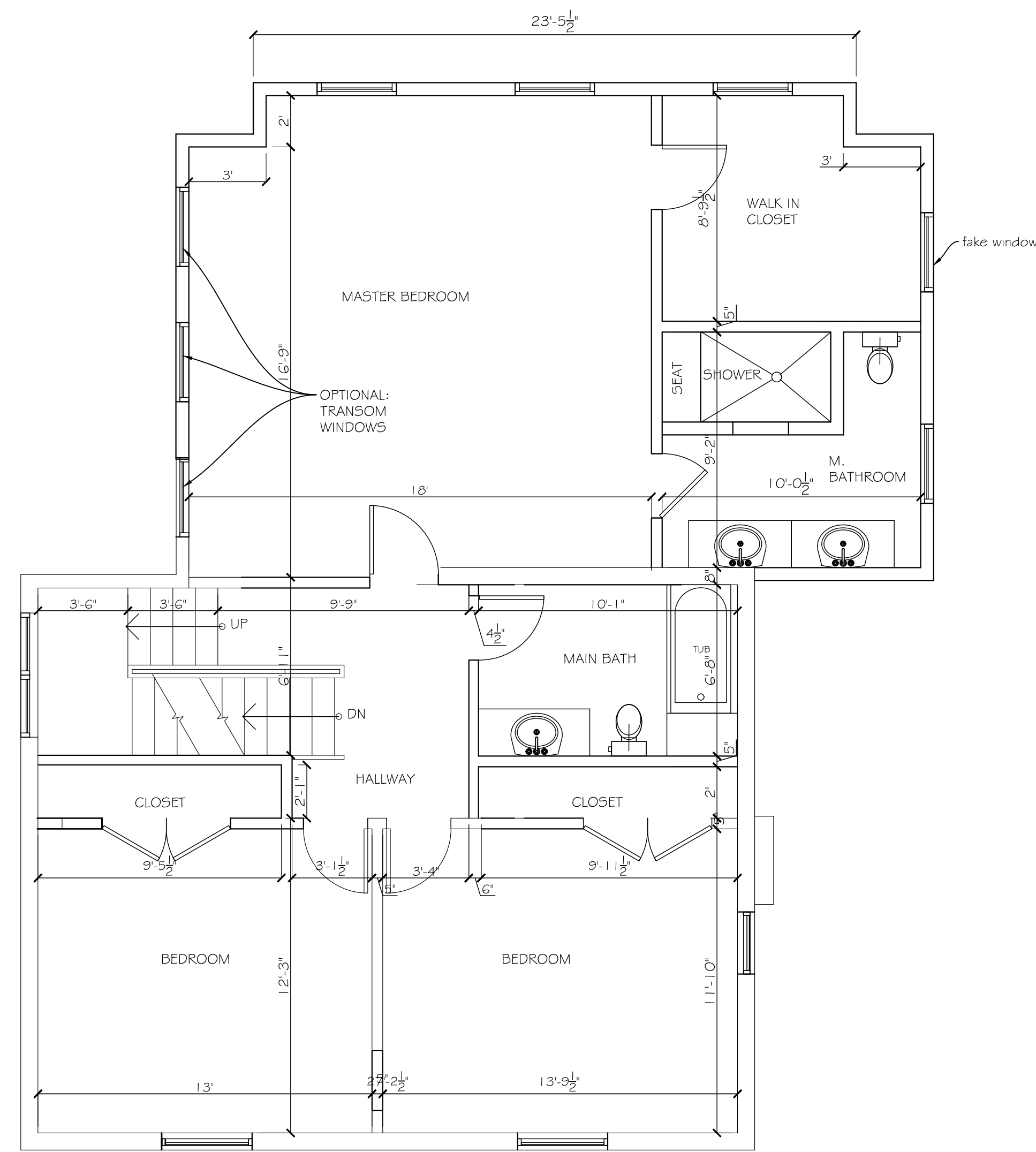
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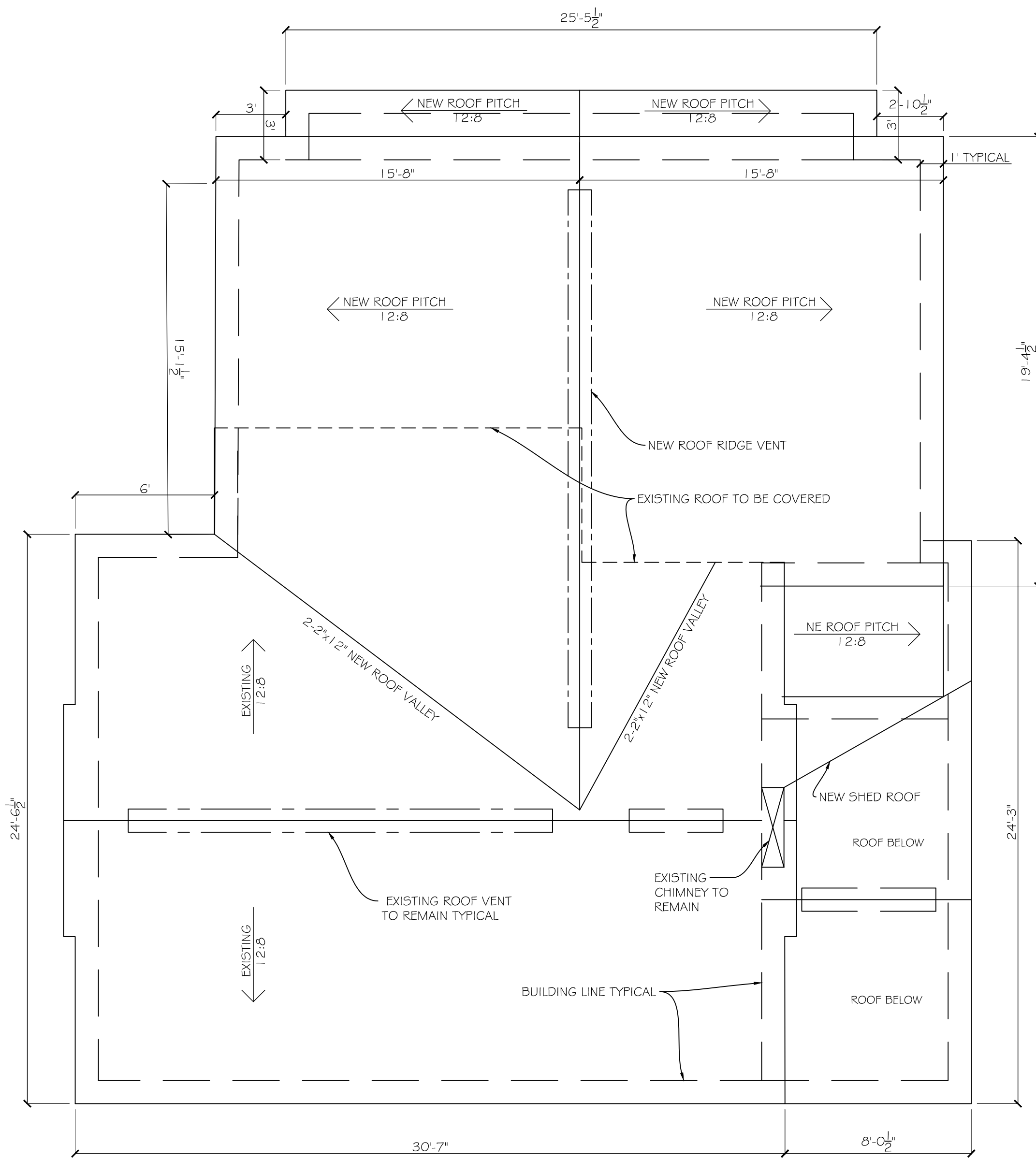
**BASEMENT AND 1st FLOOR CONSTRUCTION PLANS AND DETAILS**

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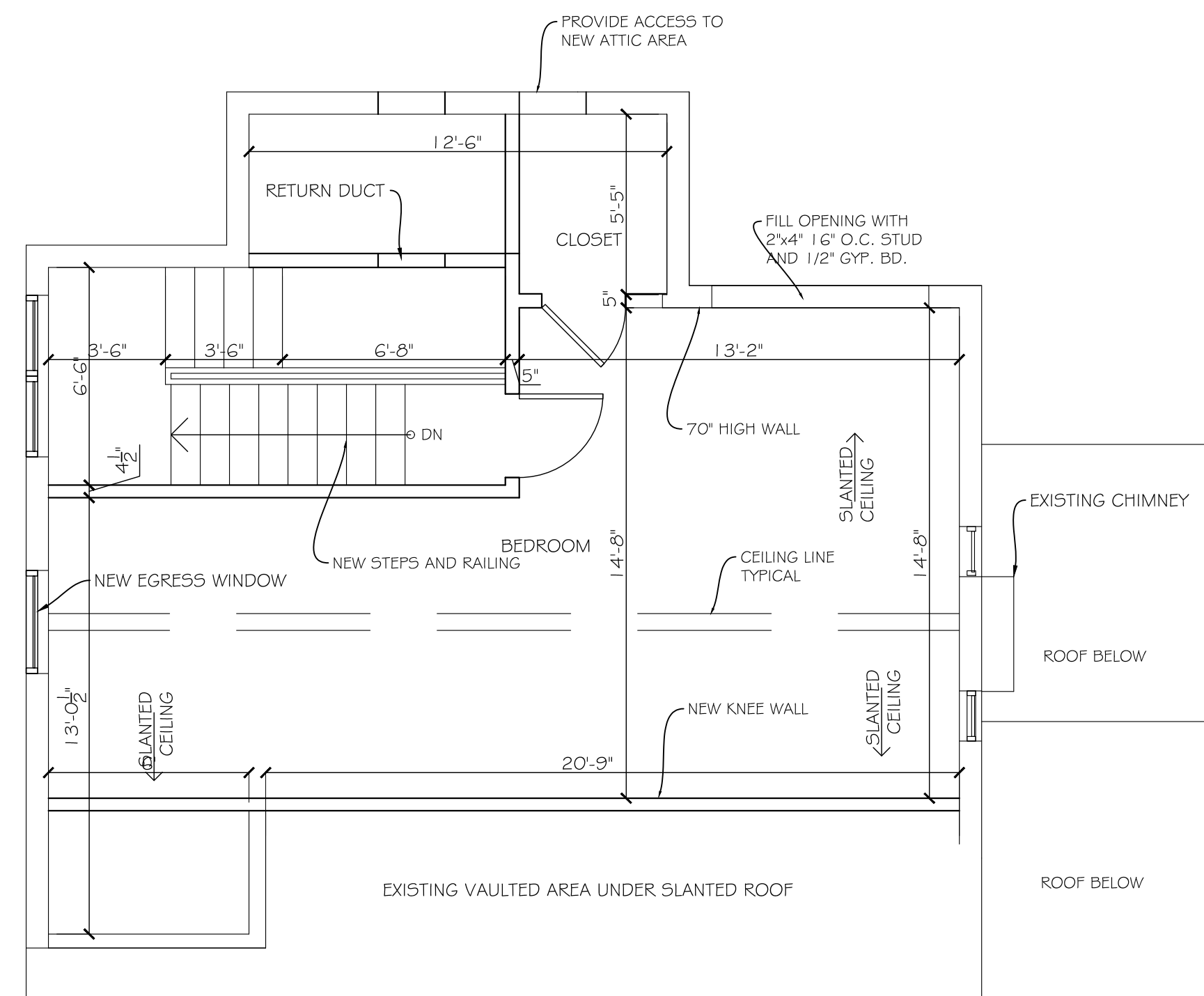
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**2nd FLOOR CONSTRUCTION PLAN**  
SCALE 1/4" = 1'-0"



**ROOF CONSTRUCTION PLAN**  
SCALE 1/4" = 1'-0"



**DORMER CONSTRUCTION PLAN**  
SCALE 1/4" = 1'-0"

WINDOWS SCHEDULE						DOORS SCHEDULE				
#	WINDOW LOCATION	BRAND	ROUGH OPENING	HARDWARE	QUANTITY	#	DOOR TYPE	BRAND	ROUGH OPENING	HARDWARE
Ⓔ	EXISTING TO REMAIN	YYNAL	VARY	VARY	N/A	Ⓔ	EXISTING DOOR TO BE REPLACED WITH THE SAME SIZE	NA	VARY	AS REQUIRED
Ⓘ	BASEMENT	YYNAL	3x1'4"	WHITE	2	Ⓘ	NEW PATIO DOOR	NA	3'-0" X 6'-10"	EXTERIOR LOCK AND HANDLES
Ⓜ	KITCHEN OVER COUNTER	YYNAL	1'-4" X 3'-6"	WHITE	2	Ⓜ	EXTERIOR BASEMENT / GARAGE DOOR	NA	2'-8" X 6'-10"	EXTERIOR LOCK AND HANDLES
Ⓝ	TRIPLE WITH FIXED MIDDLE EATING AREA	YYNAL	9'-0" X 5'-0"	WHITE	1	Ⓝ	CLOSETS AND BATHROOMS	NA	2'-6" X 6'-10"	1 1/2 PAIR HINGES, HANDLE
Ⓙ	KITCHEN TO REAR YARD	YYNAL	2'-0" X 5'-0"	WHITE	2	Ⓙ	CLOSET DOUBLE DOOR	NA	(2) 2'-0" X 6'-10"	1 1/2 PAIR HINGES, HANDLE (EACH SIDE)
Ⓟ	NEW BEDROOMS TO REAR YARD (EGRESS)	YYNAL	3'-0" X 5'-0"	WHITE	2	Ⓟ	BEDROOM DOORS	NA	2'-8" X 6'-10"	1 1/2 PAIR HINGES, HANDLE
Ⓠ	EATING AREA (SIDE YARD)	YYNAL	(2) 2'-0" X 3'-0"	WHITE	1	Ⓠ	BATHROOM / LUNDRY POCKET DOOR	NA	2'-6" X 6'-10"	CHECK HT WITH POCKET HARDWARE
Ⓡ	NEW BEDROOMS SIDE YARD WINDOWS	YYNAL	2'-0" X 5'-0"	WHITE	4	Ⓡ	LAUNDRY ROOM	NA	2'-8" X 6'-10"	OPTION WITH GLASS ON TOP
Ⓢ	BATHROOMS (TEMPERED, FROSTED)	YYNAL	2'-0" X 3'-6"	WHITE	3	Ⓢ	MASTER BR. CLOSET POCKET DOOR	NA	(2) 2'-0" X 6'-10"	CHECK HT WITH POCKET HARDWARE
Ⓣ	EXISTING TO REPLACE (BASEMENT)	YYNAL	1'-6" X 2'-6"	TO BE FIELD VERIFIED	5	Ⓣ	BASEMENT UTILITY SERVICE SPACE	NA	2'-8" X 6'-10"	EXTERIOR LOCK AND HANDLES (1 1/2 HR. FIRE RATED DOOR)
Ⓤ	EXISTING TO REPLACE (1ST FLOOR BR.)	YYNAL	3'-0" X 4'-6"	TO BE FIELD VERIFIED	3	Ⓤ	ROOLED-UP GARAGE DOOR	NA	16'-0" X 8'-0"	ELECTRIC GARAGE OPENER + LOCK + EXTERIOR KEY PAD AND HAND OPENER
Ⓥ	EXISTING TO REPLACE (1ST FLOOR BR.)	YYNAL	1'-6" X 2'-6"	TO BE FIELD VERIFIED	2					
Ⓦ	EXISTING TO REPLACE (MAIN BATH/LAUNDRY)	YYNAL	2'-0" X 5'-0"	TO BE FIELD VERIFIED	2					
Ⓧ	EXISTING TO REPLACE (ATTIC)	YYNAL	2'-0" X 2'-0"	TO BE FIELD VERIFIED	4					

NOTE: BASE PRICE ON HOLLOW CORE PRE-HUNG PANEL DOORS

CAESAR BUSTAMANTE,  
AIA N.J. LIC. NO. 21A00967600

DRAWING ISSUE:		
NO.	DATE	DESCRIPTION
-	11/--/18	ISSUED FOR PERMITS

PROJECT:

ADDITION TO AN  
EXISTING ONE  
FAMILY DWELLING

14 STANFORD AVENUE  
MONTCLAIR, NJ 07042

MUNICIPALITY: MONTCLAIR

BLOCK: -

LOT: -

DRAWING TITLE:  
**2nd , DORMER AND  
ROOF CONSTRUCTION  
PLANS**

DATE: 11/--/18 DRAWING NO.:  
SCALE: AS NOTED



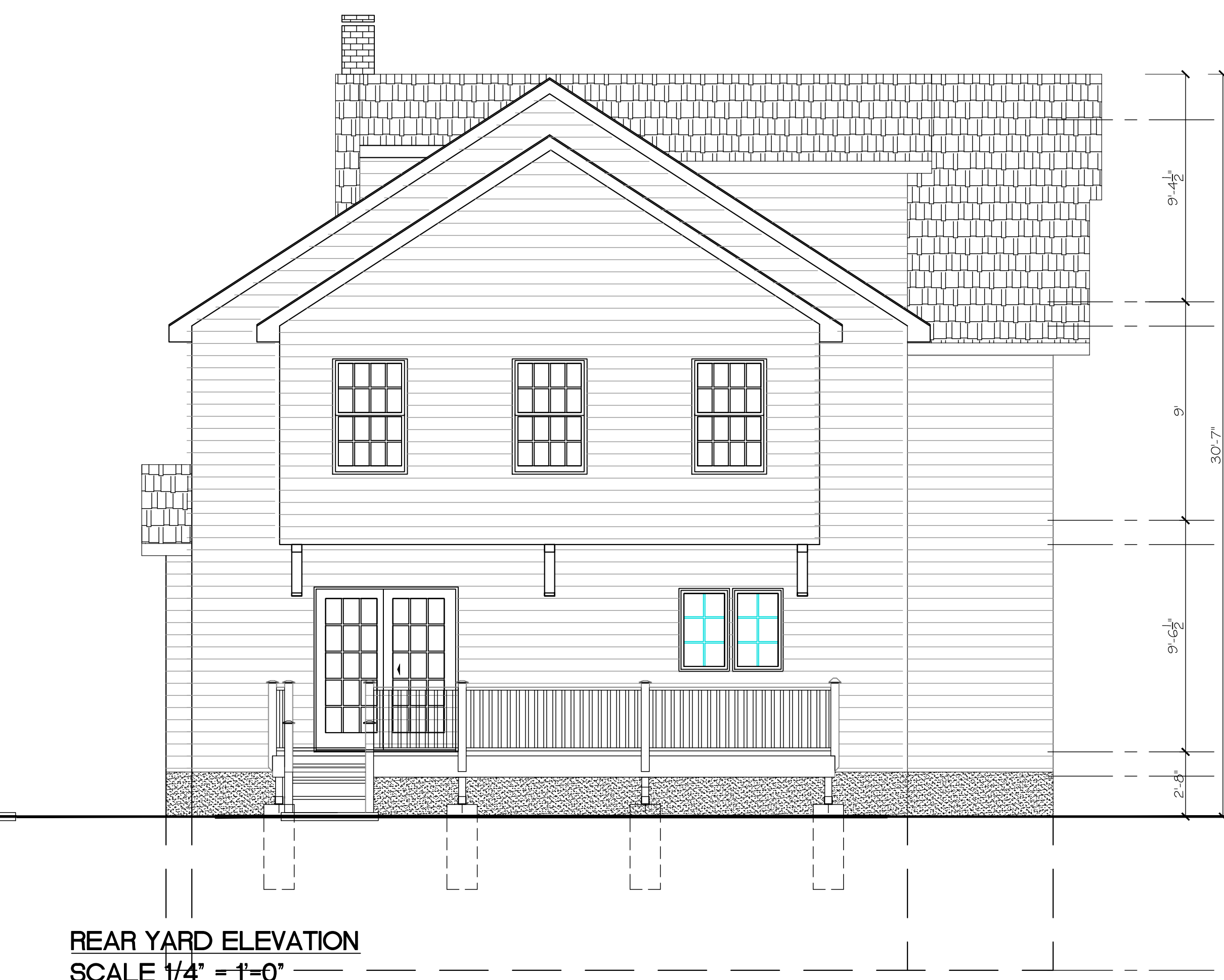
WEST SIDE ELEVATION  
SCALE 1/4" = 1'-0"



FRONT ELEVATION  
SCALE 1/4" = 1'-0"



EAST SIDE ELEVATION  
SCALE 1/4" = 1'-0"



REAR YARD ELEVATION  
SCALE 1/4" = 1'-0"

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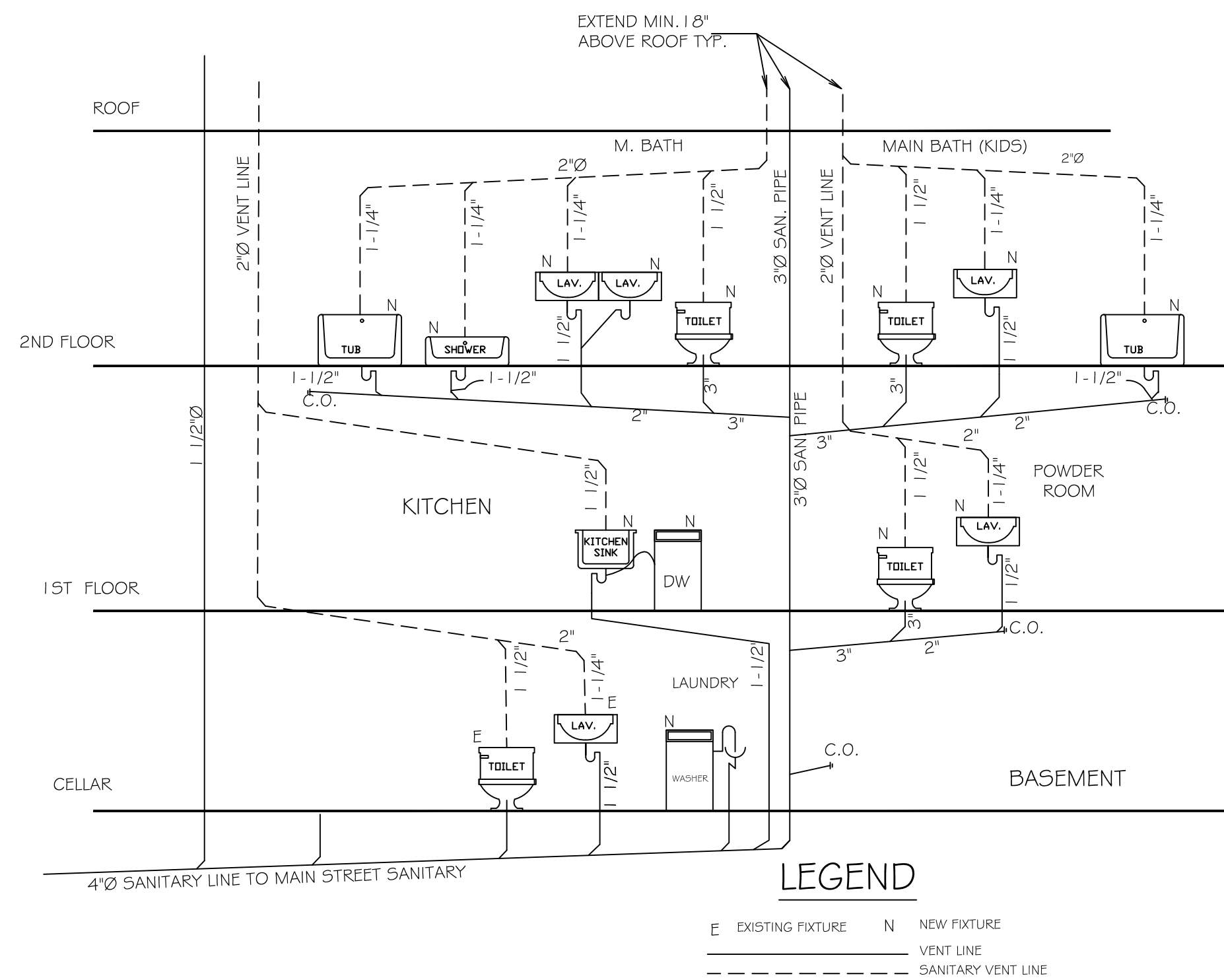
14 STANFORD AVENUE  
MONTCLAIR, NJ 07042

MUNICIPALITY: MONTCLAIR  
BLOCK: -  
LOT: -

DRAWING TITLE:

ELEVATIONS

DATE: 11/--/18 DRAWING NO.:  
SCALE: AS NOTED

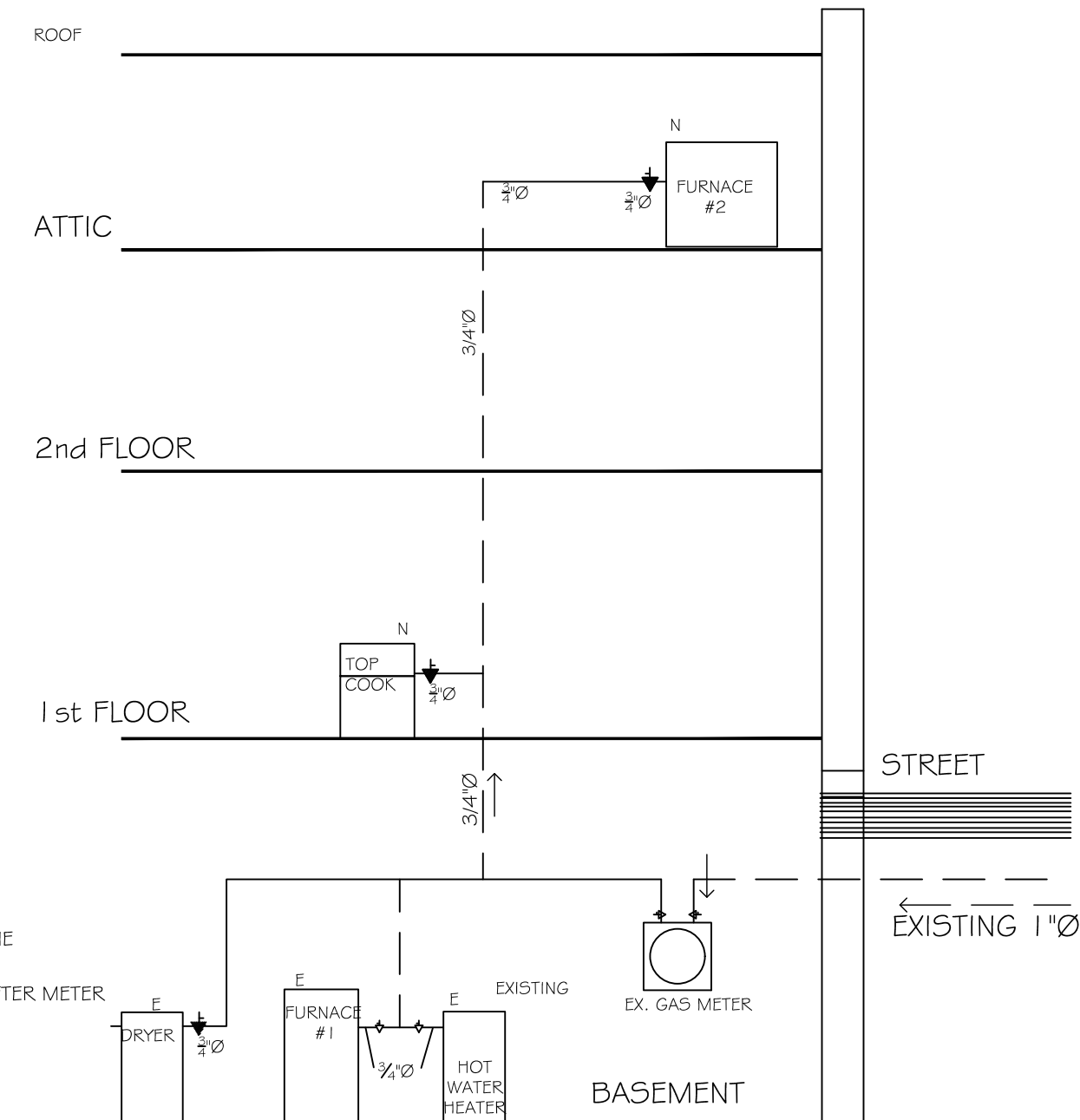


**NOTE:**  
 PLUMBING AND GAS RISER DIAGRAMS ARE DIAGRAMMATIC ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL PLUMBING EXISTING AND PROPOSED. ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES: INSULATION, ROUGHING, FIXTURES, VENTING, INSPECTIONS & SIGN-OFFS

**PLUMBING RISER DIAGRAM**  
 N.T.S.

**NOTES:**  
 EXISTING METER TO REMAIN. NEW GAS LINES TO BE INSTALLED AND TESTED. RELOCATE CONNECTION TO NEW RESIDENTIAL OVEN AS REQUIRED. INSTALL NEW SHUT-OFF VALVE MAX. 6' FROM ALL APPLIANCES IN RESIDENCE

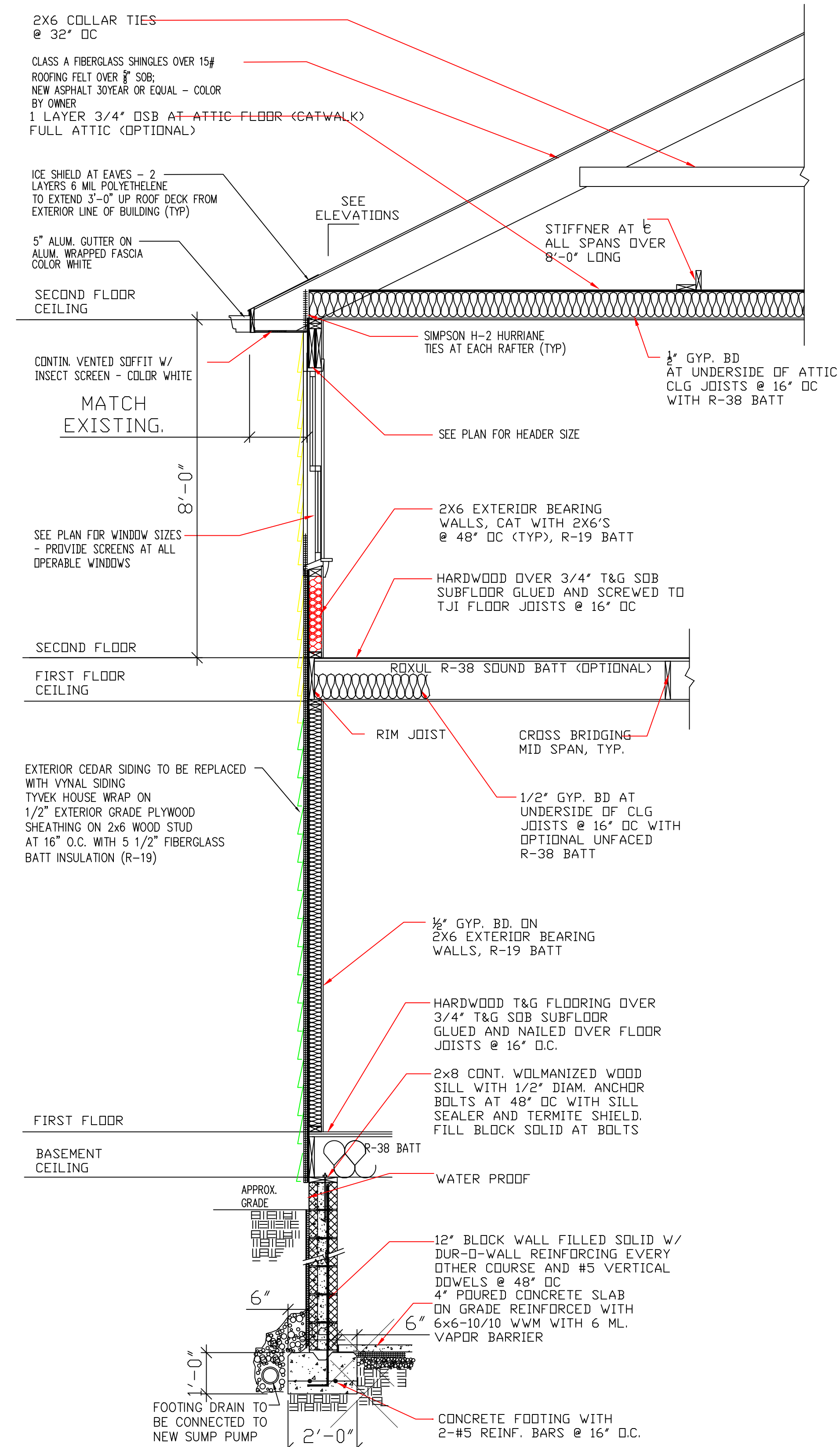
**LEGEND**  
 + SHUT-OFF VALVE  
 --- EXISTING GAS LINE BEFORE METER  
 --- NEW GAS LINE AFTER METER



**GAS SERVICE RISER DIAGRAM**  
 N.T.S.

**PLUMBING NOTES:**

1. ALL TRENCHING, EXCAVATION AND BACKFILLING TO BE DONE IN ACCORDANCE WITH SECTION 2.6, CHAPTER 2 OF THE NATIONAL STANDARD PLUMBING CODE, 2015. THIS SHALL APPLY TO THE REQUIRED TRENCHING FOR ALL SERVICE PROVIDED FROM THE BASEMENT.
2. ALL PLUMBING MATERIALS AND SUPPLIES ARE TO COMPLY WITH THE STANDARDS SET FORTH IN CHAPTER 3 OF THE NATIONAL STANDARDS PLUMBING CODE, 2015.
3. ALL PLUMBING FIXTURES TO BE SUPPLIED AND INSTALLED BY PLUMBING SUBCONTRACTOR. ALL PIPING TO BE A MINIMUM SIZE OF 3/4" DIAMETER WATER METER & STREET SERVICE AND 1" DIAMETER WATER SERVICE & DISTRIBUTION TO ALLOW FOR THE TOTAL NUMBER OF BATHROOMS PLUMBING IN THE RESIDENCE.
4. ALL JOINTS AND CONNECTIONS ARE TO CONFORM TO THE STANDARDS AS SET FORTH IN CHAPTER 4 OF NSPC, 2015.
5. HOT AND COLD WATER PIPES ARE TO BE COPPER TYPE 'L' AS PER SECTION 3.4.3, TABLE 3.4.3, CHAPTER 3 OF THE NSPC, 2015.
6. ALL WATER SUPPLY VALVES (BALL COCK) ARE TO BE PROVIDED AS PER NSPC, 2015, SECTION 10.12.6, CHAPTER 10.
7. ALL VENTS THAT PENETRATE THROUGH THE ROOF ARE TO BE 4" DIAMETER, TERMINATING A MINIMUM OF 6" ABOVE THE FINISHED ROOF LINE.
8. ALL PLUMBING SHALL BE IN ACCORDANCE WITH STATE AND LOCAL CODES AND BE INSTALLED BY A LICENSED PLUMBER.
9. CONNECT ALL FIXTURES TO A VENT STACK THROUGH THE ROOF, TO BE A MINIMUM OF 18" ABOVE FINISHED ROOF.
10. PROVIDE CLEAN-OUTS AT ALL CHANGES OF DIRECTION FOR WASTE LINES.
11. ALL WATER SUPPLY PIPE AND FIXTURE RISERS TO BE COPPER TYPE 'L'. ALL HORIZONTAL RUNS SHALL BE SUPPORTED AT 48" O.C. MAXIMUM AND MAINTAIN A UNIFORM SLOPE. SUPPLY PIPING SHALL BE SUPPORTED AT A MAXIMUM OF 48" O.C.
12. SYSTEM IS DESIGNED FOR A MAXIMUM VELOCITY OF 8 FEET PER SECOND.
13. ALL PIPING TO BE SUPPORTED, ANCHORED & INSULATED AS PER NSPC, 2006, CHAPTER 4.
14. PROVIDE AT ALL CELLAR (BASEMENT) BRANCHES BOTH A VALVE AND DRAIN COCK.
15. PROVIDE SHUT OFF VALVES DIRECTLY OFF NEW SUPPLY BRANCHES IN CELLAR (BASEMENT).
16. NEW EJECTOR PUMP AND SUMP PUMP INSTALLATION TO COMPLY WITH NSPC, 2006, SECTION 11.7.8, CHAPTER 11.
17. ALL AREAS, INCLUDING WALLS, FLOORS AND CEILINGS, DAMAGED DURING WORK MUST BE PATCHED, REPAIRED, RESTORED TO MATCH ADJACENT EXISTING SURFACES.



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MUNICIPALITY: MONTCLAIR

BLOCK: -

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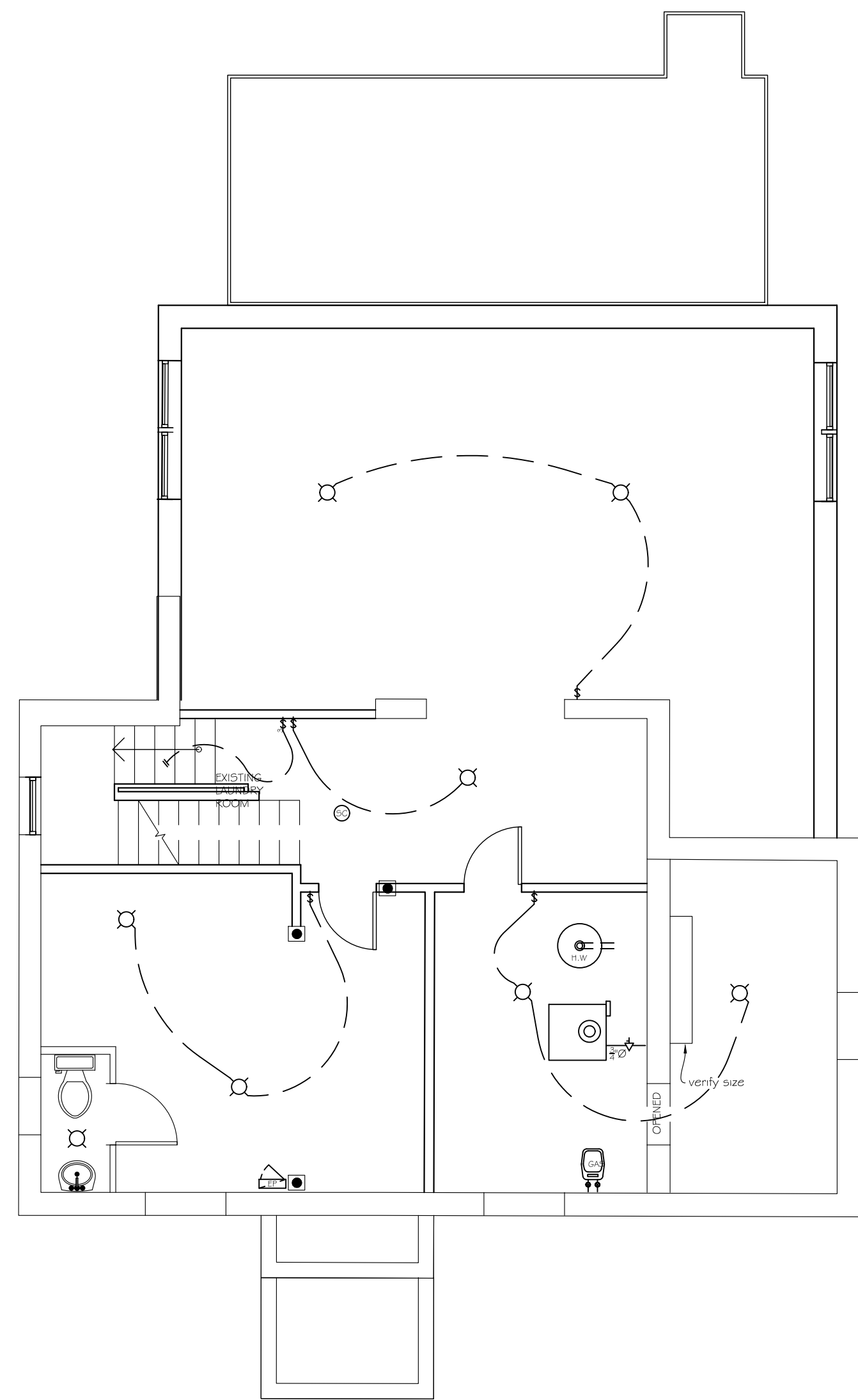
DRAWING TITLE:

**ELEVATIONS**

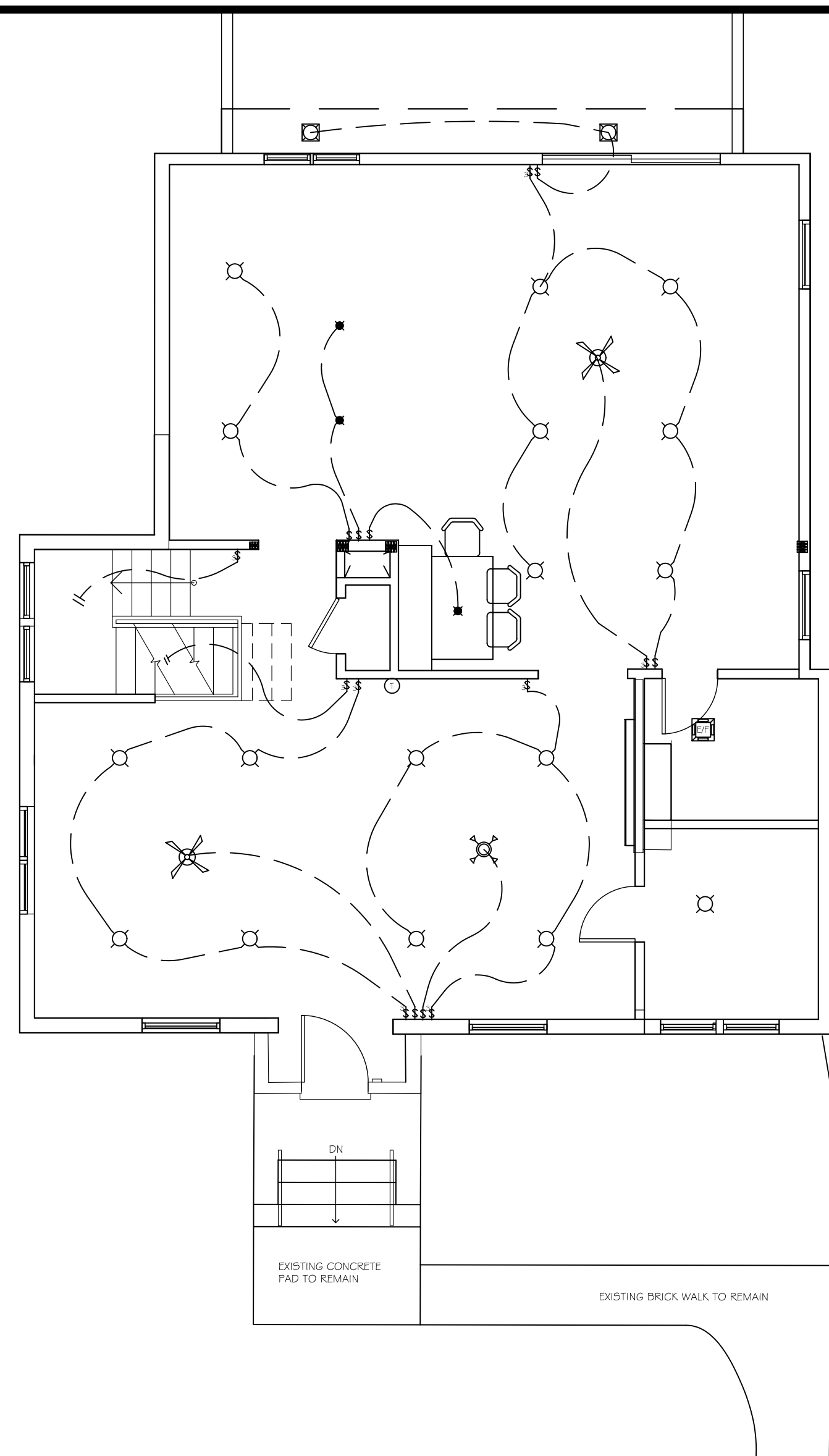
DATE: 11/--/18

DRAWING NO.:

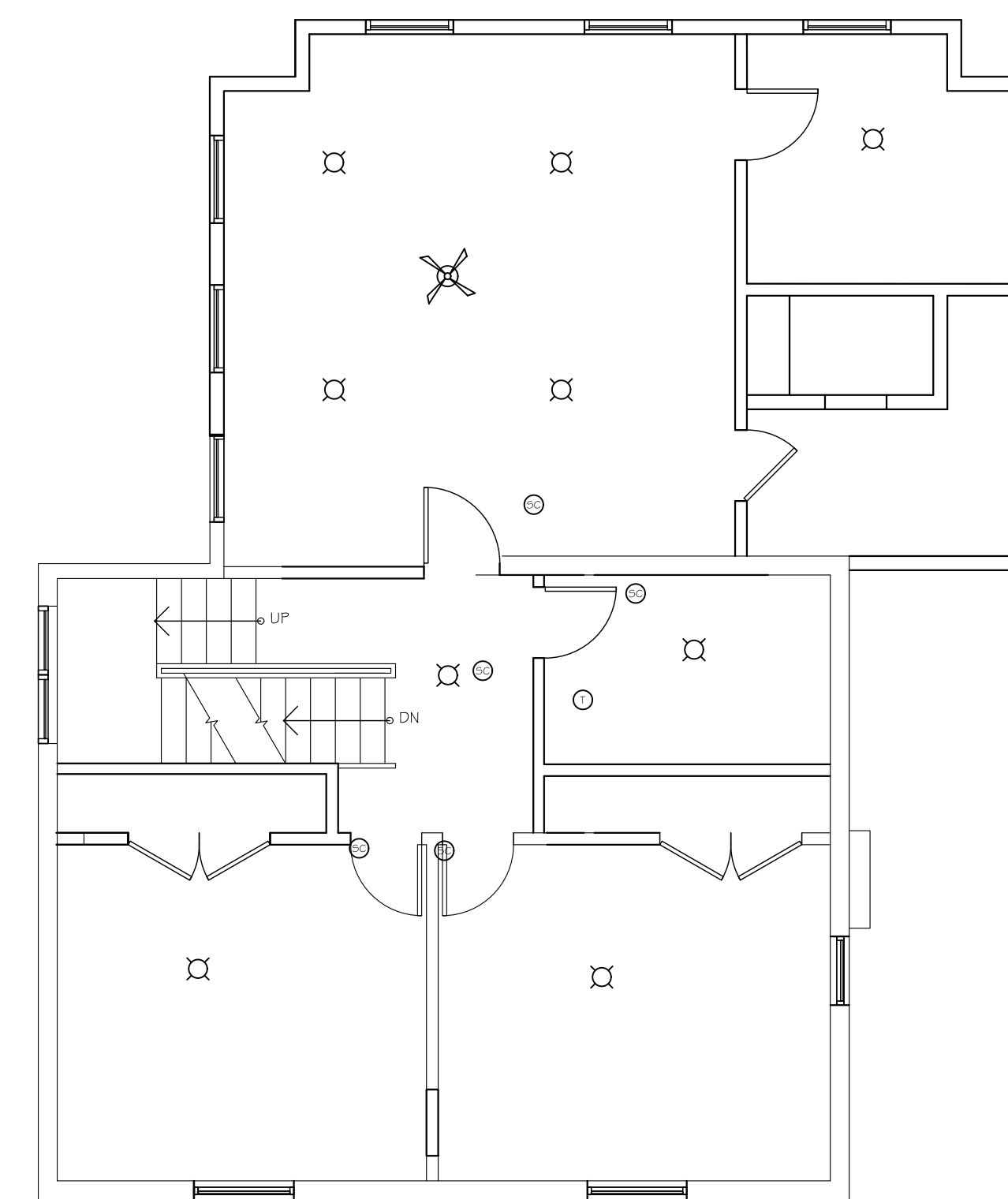
SCALE: AS NOTED



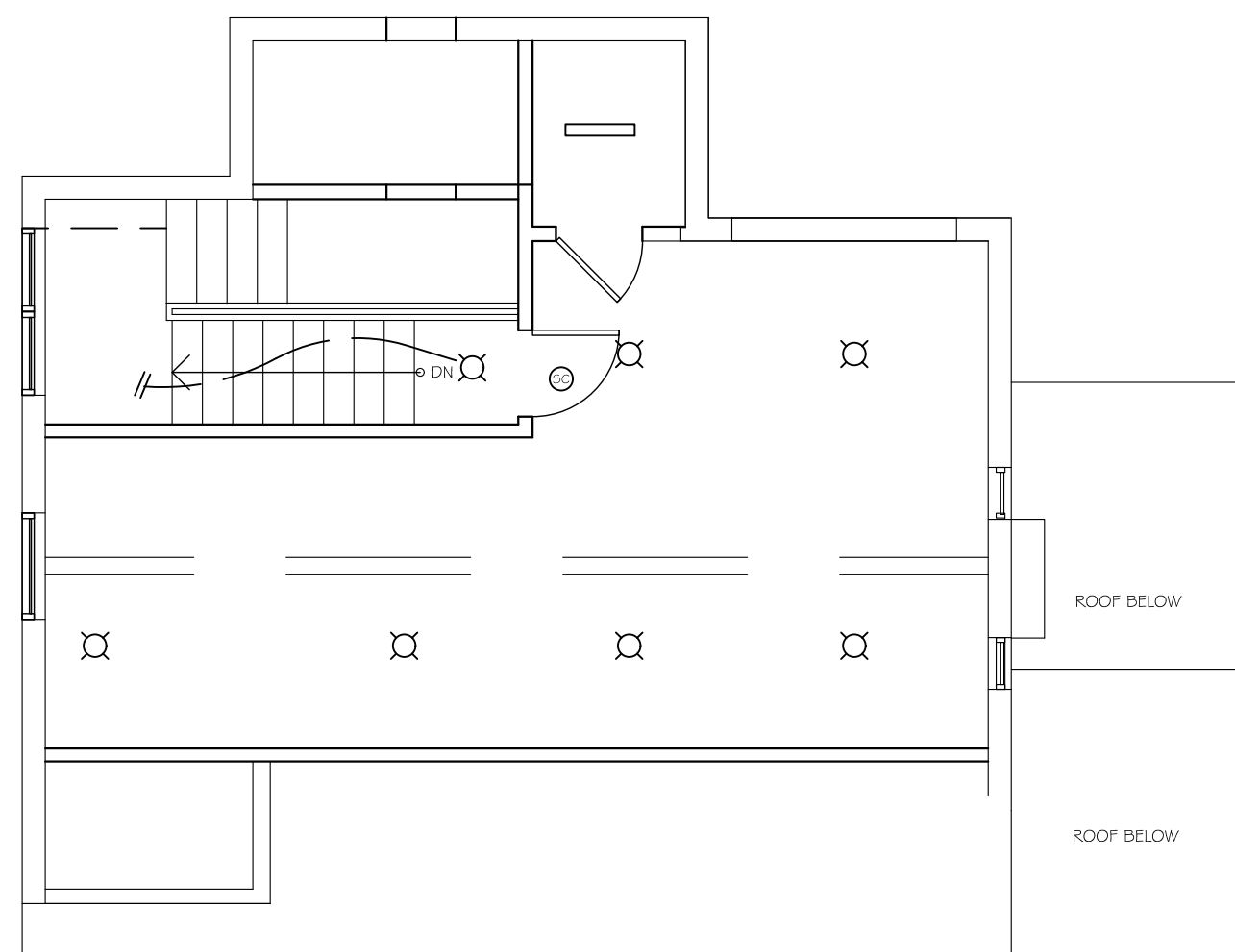
**BASEMENT ELECTRIC PLAN**  
SCALE 1/4" = 1'-0"



**1st FLOOR ELECTRIC PLAN**  
SCALE 1/4" = 1'-0"



**2ND FLOOR ELECTRIC PLAN**  
SCALE 1/4" = 1'-0"



**DORMER ELECTRIC PLAN**  
SCALE 1/4" = 1'-0"

**Legend:**

- BAR Light
- Ceiling Light
- Ceiling Light
- Ceiling Light
- ⊗ Exit Sign
- ⊕ Outlet + GFI
- ⊖ Switch
- ⊗ Light Ceiling
- ⊗ Light Ceiling
- ⊗ Bath Light Ceiling
- ⊗ Detector
- ⊗ Electric Panel
- ⊗ Security Camera
- ⊗ Emergency Light
- ⚡ SWITCH 2-W

**ELECTRICAL NOTES:**

1. ALL WORK SHALL BE PERFORMED IN FULL ACCORDANCE WITH THE 2014 NATIONAL ELECTRIC CODE AND ANY AND ALL APPLICABLE LOCAL AND STATE OF NEW JERSEY ELECTRICAL CODES AND ORDINANCES.
2. EXISTING 100 AMP SERVICE CIRCUIT BREAKER PANEL IS TO BE REPLACED AND UPGRADED TO A MINIMUM OF 200 AMP SERVICE. RE-WIRE EXISTING ROOMS TO REDUCE THE LOADS ON THE CIRCUIT BREAKERS. THE MINIMUM CIRCUIT BREAKER SIZE IS REQUIRED TO BE 20 AMP WITH 12 AWG ROMEX WITH GROUND. BOTH THE ELECTRICAL SUB-CONTRACTOR AND THE GC WILL VERIFY THE SWITCHING OF THE EXISTING PANEL PRIOR TO REPLACEMENT (DURING THE BIDDING PROCESS).
3. ALL WALL OUTLETS SHALL BE INSTALLED IN THE RESIDENCE AT A HEIGHT OF 18" AFF. UNLESS OTHERWISE NOTED. ALL SERVICE OUTLETS SHOWN AS "BACK TO BACK" SHALL BE OFFSET A MINIMUM OF 6" IN THE FIELD, AS COORDINATED BY THE ARCHITECT. ALL ELECTRICAL OUTLETS, TELEPHONE, AND CABLE OUTLETS LOCATED SIDE BY SIDE, SHALL BE INSTALLED WITH CENTERS AT 6" APART, UNLESS OTHERWISE NOTED. **OUTLETS AND SWITCHES ARE TO BE "GANGED" TOGETHER WHERE EVER POSSIBLE.**
4. ANY EXISTING OUTLET NOT SHOWN ON THE PLAN ON AN EXISTING REMAINING WALL, SHALL BE DETERMINED TO BE "EXISTING TO REMAIN". ALL OTHER OUTLETS ON WALLS BEING REMOVED ARE TO BE DETERMINED TO BE "EXISTING TO BE REMOVED", AND SHALL NOT BE REPLACED DURING THE COURSE OF CONSTRUCTION. BOTH THE ELECTRICAL SUB-CONTRACTOR AND THE GC WILL VERIFY THE LOCATION OF ALL EXISTING ELECTRIC OUTLETS IN THE AREA OF WORK.
5. WALL OUTLETS TO BE INSTALLED ABOVE CABINETS/COUNTERTOPS, SHALL BE AT THE SPECIFIED DIMENSION FROM THE FINISHED FLOOR TO THE CENTER OF THE OUTLET. INSTALL OUTLET WITH THE LONG DIMENSION RUNNING PARRALLEL TO THE FLOOR LINE.
6. NO COVER PLATES AT ANY OUTLET LOCATION SHALL BE INSTALLED UNTIL APPLICATION OF ALL FINISH MATERIALS HAS BEEN COMPLETED. OUTLETS INSTALLED SHALL BE FULLY PROTECTED DURING THE FINISH PROCESS.
7. NEW SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS SHALL BE INSTALLED IN THE APPROVED MANNER REGARDING HARDWIRING THEM TO A SINGLE SEPARATE POWER SOURCE. ALL SMOKE AND CARBON MONOXIDE DETECTORS MUST MEET THE REQUIREMENTS OF THE **UNIFORM FIRE CODE OF THE STATE OF NEW JERSEY, THE INTERNATIONAL BUILDING CODE OF NEW JERSEY/2009, AND THE INTERNATIONAL RESIDENTIAL CODE OF NEW JERSEY/2009**
8. ALL LIGHTING FIXTURES AND SWITCHES INDICATED ON THE PLAN ARE FOR DESIGN, LOCATION, AND SPECIFICATIONS ONLY. THE GENERAL CIRCUITING AND TECHNICAL SPECIFICATION INFORMATION SHALL BE OBTAINED FROM THE ELECTRICAL CONTRACTOR. THE ELECTRICAL CONTRACTOR SHALL SUBMIT TO THE ARCHITECT AND/OR OWNER, THROUGH THE GC, CUTS (MINIMUM OF 2) OF ALL FIXTURES FOR REVIEW AND APPROVAL. ALL SPECIFIED FIXTURES MAY BE SUBSTITUTED FOR AN APPROVED EQUAL FIXTURE.
9. FASCIAS/SOFFITS SHALL BE AS SHOWN ON THE PLANS. ALL SOFFITS SHALL BE LEVEL AND TRUE, WITH THE FASCIAS PLUMB, WITH NO DISTORTION.

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DRAWING TITLE:  
**ELECTRIC FLOOR  
PLANS**

DATE: 11/--/18  
SCALE: AS NOTED

DRAWING NO.: